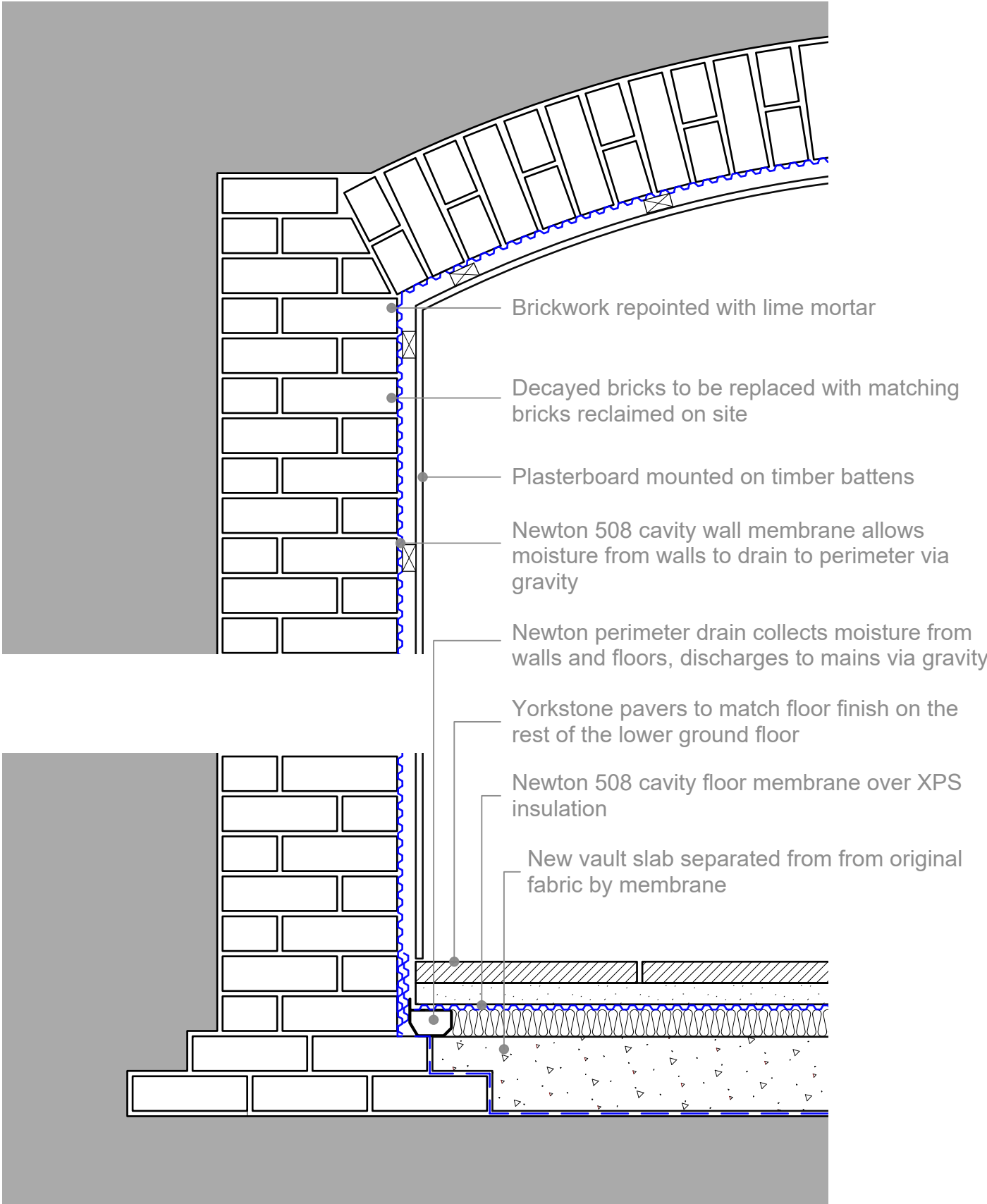


PROPOSED - DETAIL



1
500 Proposed Vault Detail
Scale 1:10@A3

Methodology & Important Notes

The key part of this application is the uncovering and restoration of the historical vaults present on site, allowing for their use in the future. We propose the use of a cavity drain membrane to ensure that conditions in this area are as livable as the rest of the house.

Cavity drains are particularly well suited for historical environments as they require minimal intervention, respect the original fabric, and are fully reversible should future restoration be needed. They offer an effective balance between functionality and heritage preservation.

The system is non-invasive, fully reversible and maintainable, making it ideal for listed buildings. It allows for the vaults to be usable while preserving the historic fabric and long term significance.

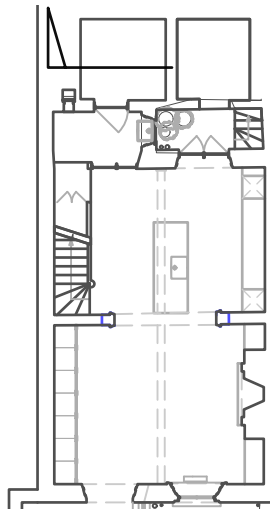
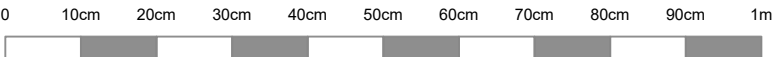
We propose using the Newton Cavity Drain System, a Type C waterproofing solution that provides 'drained protection'. Water is managed through voids created by the cavity drain membranes, which safely direct any leakage via gravity drainage. The system is widely recognised for its suitability in historic and listed buildings, which makes it an appropriate choice for the restoration and preservation of the vaults.

The existing fabric will be cleaned, repointed in lime mortar and repaired where necessary. Where delamination took place, the bricks can be replaced with other to match, recovered in situ. The waterproofing system will then be carefully installed by a specialist contractor as per specific instruction required to achieve warranty of the finished product. Concrete slab, insulation and screed will be fully separated from original fabric and will be done in accordance with the structural engineer's requirements.

All of the works are fully reversible

No cementitious renders to be used in the works involving historical fabric

All breathable existing fabric to be retained



2
500 Key Plan
Scale NTS

No.	Date	By	Revision Notes
A	10.06.25	CB	Detail developed

Note
Although O.S. Coordinates may be shown on this plan the grid is to be treated as arbitrary. No scale factor has been applied to the survey therefore the any coordinates shown are not true O.S. Coordinates.
All dimensions to be checked on site

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Client	32 Well Walk NW3 1BX
Project Title	32 Well Walk
Sheet Title	PROPOSED Detail Waterproofing
Drawn By	CB
Reviewed By	GR
Date	06/02/2023
Project ID	2302
Scale	1:100 @ A3
Sheet No.	2302-500