

Two Frognal Garden, Hampstead
Design, Access & Heritage statement
March 2025



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Two Frogna! Gardens
Main entrance
November 2024



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Description

Two Frognal Gardens
Main entrance
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01. Introduction.

Two Frognal Gardens (NW3 6UX) is located centrally within the Hampstead conversation area, which forms part of the London Borough of Camden. The property is not listed, but is affected by an Article 4 direction', which requires planning permission for the works we propose.

The building occupies a corner site facing both Frognal Gardens and Church Row, opposite St. John-at-Hampstead Church. A continuous modern-brickwork boundary wall with timber trellis at high level, contains landscaping to the front, side and rear of the property. A Car entrance, with dropped curb, is located off Church row.

Internally the building has four levels, from lower ground to 3rd floor, with a large roof and two ornate chimney stacks which terminate just above the roof line. The house has two entrances, its main entrance is at ground floor, whilst a more informal entrance, is at lower ground adjacent to Four Frognal Gardens.

Introduction

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02. Description.

This statement should be read in conjunction with the application form, supporting documents, photographs and drawings.

Works proposed;

Our previous application (2025/0100/P) dealt with the requirement to unify the houses four elevations, as the house had suffered from piecemeal development, with window styles, materials and opening types not matching, fortunately that application was successful. This application seeks to replace a 2002 modern rear extension which has an incoherent collection of materials. Which include, glazed full height sliding windows with grey metal frames, a lead roof with projecting eaves and a rendered cube those scale is incongruous to the existing building. It is also worth mentioning the thermal performance of this modern addition is very poor.

We propose to replace that extension with a form and material, which would match the existing building more closely. The existing building can be characterised as having a strong form with projecting stone bays on its west and south elevations. The rear of the building, which faces Holy walk is curiously not as articulate, our proposal adds a stone extension or 'bay' to the rear of the building. The Ground floor plan is more orientated towards the generous garden, with the new extensions form and massing relating to that of the existing bays and stone coursing.

The stone chosen will match that of the existing house, making is feel bigger', rather than extended'. The gently curved openings will be lined with of bronze slim-line glazing, whose thermal performance along with new stone clad walls, will greatly improve the energy efficiency of the building. In addition to these works, we are also upgrading all heating within the building. We hope to be well in excess of current U-Value requirements.

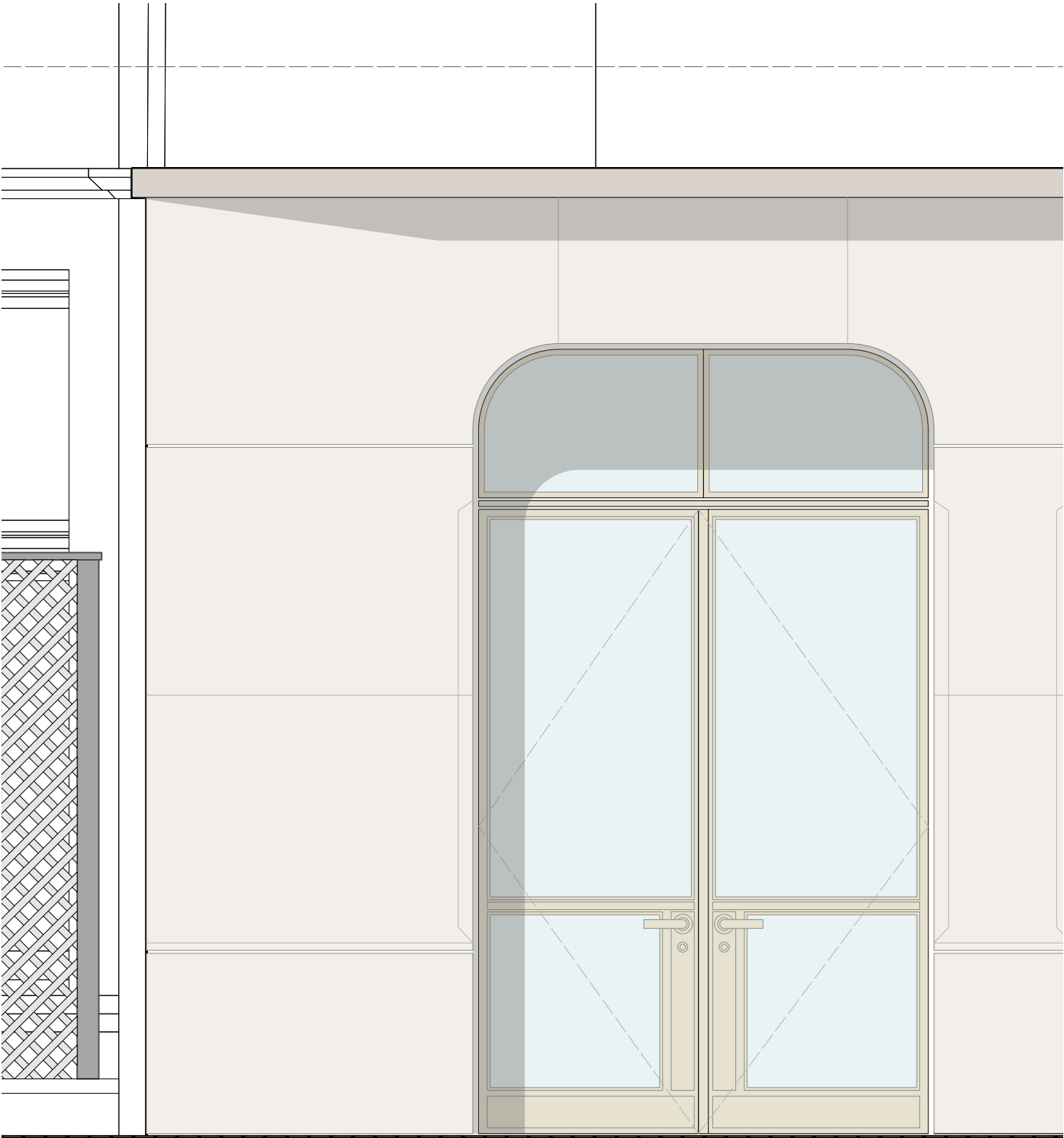
For reasons identified in this statement it is considered that the application proposal represents appropriate development, and has no significant or detrimental impact upon the significance, setting or character of the building and locale.

Bibliography ;

- Hampstead Conservation Area Design Guide - Camden planning Dept.
- Article 4 Directions Heritage and conservation - Camden planning Dept.
- Conservation area statement hampstead - Camden planning Dept.
- Town and Country planning act 1990

Design Reference

Two Frogna! Gardens
Proposed elevation - Bay study
March 2024



03. Scale, Layout and Access.

The scale of the proposed rear extension matches the height of the existing, bringing it into alignment with the existing stone coursing and bays of the host building. In plan it occupies the same line as the furthest projecting element (white rendered cube). This has increased the ground floor plan by 5sqm. This is notated on drawing 2FG - GA - 100, ground floor plan.

Beyond the rear extension works, no changes are proposed internally to the layout. In addition to this, access to the building and the wider plot is unaltered. The site has one parking space with dropped curb and sliding gate, and two gated entrances.

04. Existing Building





04. Existing Building - Current rear extension

05. Drawing register

Existing Drawings

2FG - ST - 001

2FG - ST - 002

2FG - ST - 003

2FG - EX - 100 Existing - Ground Floor plan - Rev P1

2FG - EE - 100 - Existing - North Elevation - Rev P1

2FG - EE - 101 - Existing - East Elevation - Rev P1

2FG - EE - 102 - Existing - South Elevation - Rev P1

2FG - EE - 103 - Existing - West Elevation - Rev P1

Proposed Drawings

2FG - 2FG - ST - 003 - Proposed - Site Plan

2FG - GA - 100 - Proposed - Ground Floor Rev P1

2FG - GE - 100 - Proposed - North Elevation Rev P1

2FG - GE - 100 - Proposed - North Elevation Rev P1

2FG - GE - 101a - Proposed - East Elevation Rev P1

2FG - GE - 102 - Proposed - South Elevation Rev P1

2FG - GE - 103 - Proposed - West Elevation Rev P1

2FG - GE - 200 - Proposed - North Elevation - Detail Rev P1

2FG - GE - 201 - Proposed - East Elevation - Detail Rev P1

2FG - GE - 202 - Proposed - South Elevation - Detail Rev P1

06. End of Document