



Heritage Impact Assessment

15 Chalcot Square,
NW1

May 2025 | Project Ref 10707A



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- App. 1 Scale of Harm table (HCUK, 2019)**
- App. 2 1867 Lease Agreement**
- App. 3 1986 plans**

1. Introduction

- 1.1** This Heritage Impact Assessment has been prepared by HCUK Group on behalf of Bridget Smith. It relates to an application for the renovation and restoration of 15 Chalcot Square, NW1 8YA. The London Borough of Camden (LBC hereafter) are the determining authority.



Figure 1: 14 Chalcot Square

- 1.2** 15 Chalcot Square is an end terrace house built in the mid-19th century. It is grade II listed as part of the terrace Numbers 15-19 and Attached railings (UID: 1258097). The property is within the setting of several other grade II listed

buildings (which are also part of Chalcot Square) and is located within the Primrose Hill Conservation Area.

- 1.3** In accordance with the requirements of Paragraph 207 of the National Planning Policy Framework (2024) this assessment describes the significance of the identified heritage assets.

The Proposals and Relevant Background

- 1.4** The proposals are for the renovation and restoration of 15 Chalcot Square. Works include:

- Lower Ground Floor: Removal of non-original partitions to reconfigure internal spaces to the SW side of the property. Acoustic enclosure to rear garden to house ASHP.
- Ground Floor: Refurbishment and restoration of drawing room & entry hallway to front. Reconfiguration of kitchen/dining room. Replacement of existing external terrace, balustrade & staircase.
- First Floor: Reconfiguration of first floor spaces to create master suite; new dressing spaces accessible from master bedroom & ensuite.
- Second Floor: Refurbishment and restoration of front bedroom & ensuite.
- Third Floor: Refurbishment and restoration of bedrooms & ensuites.
- Roof: Replacement of 2 no. existing rooflights with 2 no. conservation rooflights to rear roof.
- Replacement of existing roof tiles and lead coverings where necessary.
- Additional: Address heating (installation of under floor heating); Replacement of windows throughout the building; refer to elevations for details.
- General: All existing cornicing, architraves, skirting to be retained and refurbished where possible.

- 1.5** Pre-application advice was sought on a more comprehensive scheme including a lower ground floor extension and a response was received on the 1st April 2025 as well as email feedback from the Conservation Officer 21st March 2025. Key comments in relation to this application included:

- As stated, the concern lies in the demolition of the historic/traditional planform. There is no opposition to the alteration of partition walls inserted in the 1980s (email dated 25th March;
- The majority of the external joinery units retain their original historic glass. In accordance with Historic England guidance, the replacement of these with double glazing is not appropriate and is therefore will not be recommended in the guidance (pre-application letter dated 1st April).

1.6 In the submitted scheme it is largely proposed to alter modern walls/modern additions are proposed. Where historic fabric is affected, it is only at lower ground floor level.

1.7 In terms of the proposed changes to the windows, the existing glazing is clearly not historic and is discussed in further detail in section 3 (page 13) of this report.

1.8 The proposals have been based on a thorough understanding of the significance of the identified heritage assets and seek to renovate the property while preserving its unique heritage values.

Purpose of this Assessment

1.9 The purpose of this Heritage Impact Assessment is to assist with the determination of the application by informing the decision takers on the effects of the proposed development on the historic built environment. Value judgements on the significance of the identified heritage assets are presented and the effects of the proposals upon that significance are appraised. Particular regard is given to the provisions of the Planning (Listed Building and Conservation Areas) Act, 1990. The report also sets out how the proposal complies with the guidance and policy of the National Planning Policy Framework (NPPF) 2024 and local planning policy. The site and heritage assets affected have been observed and assessed following a site visit made by the author in December 2024.

2. Relevant Planning Policy Framework

- 2.1** The decision maker is required by sections 16(2) and 66(1) of the Planning (Listed Building and Conservation Areas) Act 1990 to have special regard to the desirability of preserving a listed building and its setting when exercising planning functions. The decision maker must give considerable importance and weight to the desirability of preserving the significance of the listed building, and there is a strong presumption against the grant of permission for development that would harm its heritage significance.¹
- 2.2** There is a broadly similar duty arising from section 72(1) of the Act in respect of planning decisions relating to development within conservation areas.
- 2.3** For the purposes of this assessment, preservation equates to an absence of harm.² Harm is defined in paragraph 84 of Historic England's Conservation Principles as change which erodes the significance of a heritage asset.³
- 2.4** The significance of a heritage asset is defined in the National Planning Policy Framework (NPPF) as being made up of four main constituents: architectural interest, historical interest, archaeological interest and artistic interest. The assessments of heritage significance and impact are normally made with primary reference to the four main elements of significance identified in the NPPF.
- 2.5** The setting of a heritage asset can contribute to its significance. Setting is defined in the NPPF as follows:
- The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.*
- 2.6** Historic England has produced guidance on development affecting the setting of heritage assets in The Setting of Heritage Assets (second edition, December 2017),

¹ Barnwell Manor Wind Energy Limited v East Northamptonshire District Council and others [2014] EWCA Civ 137. This principle has recently been confirmed, albeit in a lower court, in R (Wyeth-Price) v Guildford Borough Council.

² South Lakeland v SSE [1992] 2 AC 141.

³ Conservation Principles, 2008, paragraph 84.

better known as GPA3. The guidance encourages the use of a stepped approach to the assessment of effects on setting and significance, namely (1) the identification of the relevant assets, (2) a statement explaining the significance of those assets, and the contribution made by setting, (3) an assessment of the impact of the proposed development on the setting and significance of the assets, and (4) consideration of mitigation in those cases where there will be harm to significance.

2.7 The NPPF requires the impact on the significance of a designated heritage asset⁴ to be considered in terms of either “substantial harm” or “less than substantial harm” as described within paragraphs 214 and 215 of that document. National Planning Practice Guidance (NPPG) makes it clear that substantial harm is a high test, and case law describes substantial harm in terms of an effect that would vitiate or drain away much of the significance of a heritage asset.⁵ The Scale of Harm is tabulated at **Appendix 1**.

2.8 Paragraphs 214 and 215 of the NPPF refer to two different balancing exercises in which harm to significance, if any, is to be balanced with public benefit.⁶ Paragraph 18a-020-20190723 of National Planning Practice Guidance (NPPG) online makes it clear that some heritage-specific benefits can be public benefits. Paragraph 18a-018-20190723 of the same NPPG makes it clear that it is important to be explicit about the category of harm (that is, whether paragraph 214 or 215 of the NPPF applies, if at all), and the extent of harm, when dealing with decisions affecting designated heritage assets, as follows:

Within each category of harm (which category applies should be explicitly identified), the extent of the harm may vary and should be clearly articulated.

2.9 Paragraphs 212 and 213 of the NPPF state that great weight should be given to the conservation of a designated heritage asset when considering applications that affect its significance, irrespective of how substantial or otherwise that harm might be.

⁴ The seven categories of designated heritage assets are World Heritage Sites, Scheduled Monuments, Listed Buildings, Protected Wreck Sites, Registered Park and Gardens, Registered Battlefield and Conservation Areas, designated under the relevant legislation.

⁵ Bedford Borough Council v SSCLG and Nuon UK Limited [2013] EWHC 4344 (Admin).

⁶ The balancing exercise was the subject of discussion in City and Country Bramshill v CC SLG and others [2021] EWCA, Civ 320.

- 2.10** The Camden Local Plan (July 2017) contains the local policy that relates to this application:

Policy D2 Heritage

The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

Designed heritage assets include conservation areas and listed buildings. The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;*
- b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;*
- c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*
- d. the harm or loss is outweighed by the benefit of bringing the site back into use.*

The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

- 2.11** The London Plan 2021 is the spatial development strategy for greater London and as such a piece of relevant planning policy. Of specific relevance is policy HC1 Heritage Conservation and Growth which notes that "*Development proposals affecting heritage assets, and their settings, should conserve their significance, by*

being sympathetic to the assets' significance and appreciation within their surroundings."

3. Background and Development

- 3.1** The site is located on land formerly owned by Lord Southampton – Charles FitzRoy (1804-1872). In the 1820s it was proposed to develop Lord Southampton’s land for housing. An estate was envisaged of large suburban villas with substantial gardens.
- 3.2** The estate was developed in the 1840s, after the building of the London and Birmingham Railway in the 1830s. In 1840, the Southampton Estate was sold in freehold portions for development. The sale map shows a grand estate consisting of large semi-detached and detached villas located in generous gardens. The layout reflects the current street pattern of the area and incorporates the sweeping curves of the villa development, with the addition of a formal intersection and garden at the centre.
- 3.3** 15 Chalcot Square was originally constructed in the late-1850s as a single large townhouse for a family of the middle or upper classes (it is listed as middle class in Charles Booth’s Poverty Map), and importantly as one element within a planned and deliberately composed terraced group and residential square of contemporary and similarly designed properties. The square was originally named St Georges Square.
- 3.4** An 1867 lease agreement for the property describes the rooms within the house. It records a Drawing Room, Dining Room, Kitchen, Breakfast Parlour, Bathroom, Housekeepers Room as well as several others. It also describes some of the features within the rooms such as the ‘*...marble box chimney piece with pilasters and trusses...*’ within the Drawing Room and ‘*...marble box chimney piece with 11 inch pilasters...*’ within the Dining Room (Camden Archives Ref: BRA1678/2/10; Appendix 2).
- 3.5** The property is first depicted in any detail in the 1870 OS Map (at this time Chalcot Square was known as St George’s Square and remained so until 1937). It is shown as the end house as part of a terrace, though its footprint is different to the other properties within the terrace, it was wider but less deep and had more of a square shape than a rectangular one. Also, it’s rear building line was not aligned with the rest of the terrace.



Figure 2: 1870 OS Map

1.	2.	3.	4.	5.	6.	7.	8.	9.	10.
1	Ellen Gee	Head	45	Single					Boarding House Keeper 94
2	Mary Gee	Sister	58	Single					Lady Help 010
3	Margaret Alice Gee	Sister	54	Single					Book 486
4	Frances Horsfall Midley	Boarder	30	Single					Prophet, domesticated, 510
5	Grand Almshouse	Boarder	26	Single					Physic Assistant 260
6	Edith Leighton	Boarder	25	Single					Physic Assistant 0
7	Ernest Brooks	Boarder	25	Single					Clerk to Hotel Brokers 050
8	Georges Comesse	Boarder	23	Single					Clerk to Hotel Brokers 1
9	George Brown	Boarder	23	Single					Clerk in German Bank 521
10	Albert Manning	Boarder	23	Single					Stock Brokers Clerk 050
11	Angelina Winkborne	Boarder	30	Single					Dressmaker 280
12	John Hale	Servant	21	Single					Servant 471
13	Lily Cookhead	Servant	17	Single					

Figure 3: Census 1911

3.6

The OS maps right up to 1965 show very little change in the footprint of the house. However, it is apparent from the site visit and research that alterations were made in the early-mid 20th century. This is supported by the fact that in 1911 the house appears to be in use as a boarding house, as the census of 1911 tells us the head of the household was Ellen Gee with her occupation listed as Boarding

Housekeeper, with her sisters listed as Lady Help and Cook. The 1911 census also lists several adults staying at the property, all with different surnames.

3.7

In addition, 1937 drainage plans from basement to third floor show a very different arrangement to the existing, with kitchens and bathrooms on every floor, and a plan of part of the rear elevation shows a different fenestration arrangement. It is clear that sometime after the plans were drawn up that significant changes were made (likely in the mid-20th century), including alterations to the front porch/portico (made by 1968 see **Figure 6**) Circular windows to the side elevation (south) at first and second floor level were also inserted (though these may have been inserted at an earlier date).

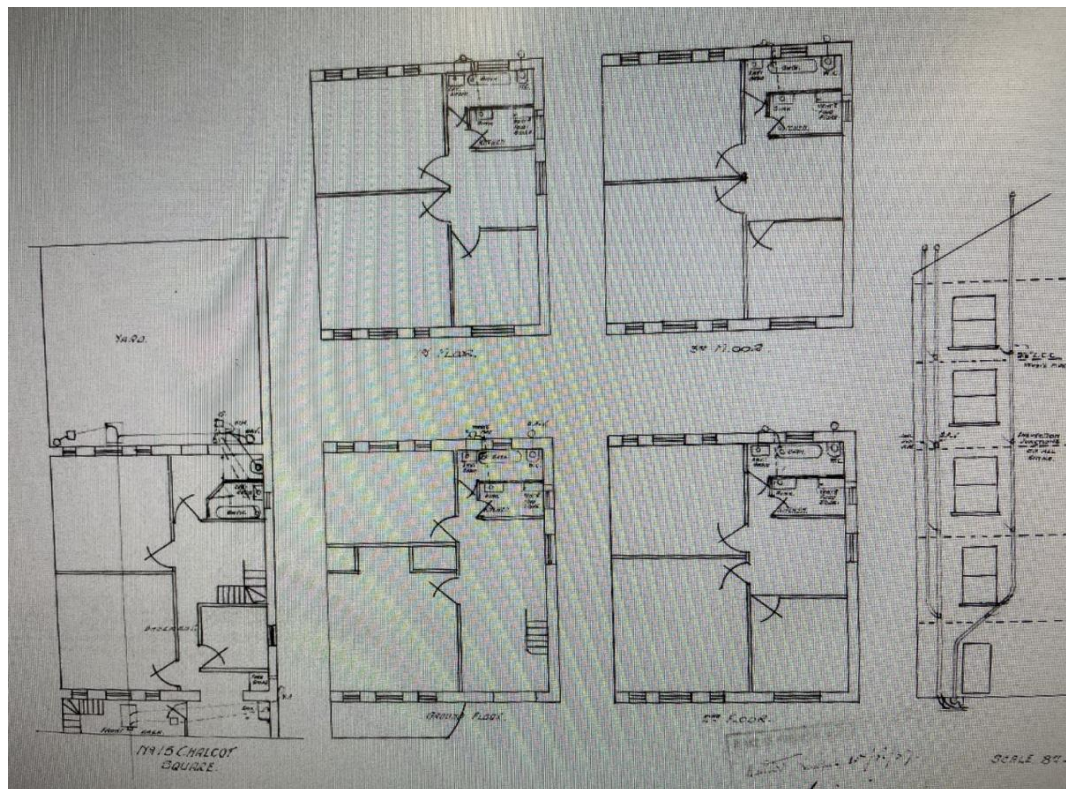


Figure 4: 1937 Drainage Plans

3.8

The 1939 Register lists several families and individuals living at the property, and the 1937 plans show bathrooms and kitchens on ground floor to third floor, so it is very possible that the house was divided into flats during this period.

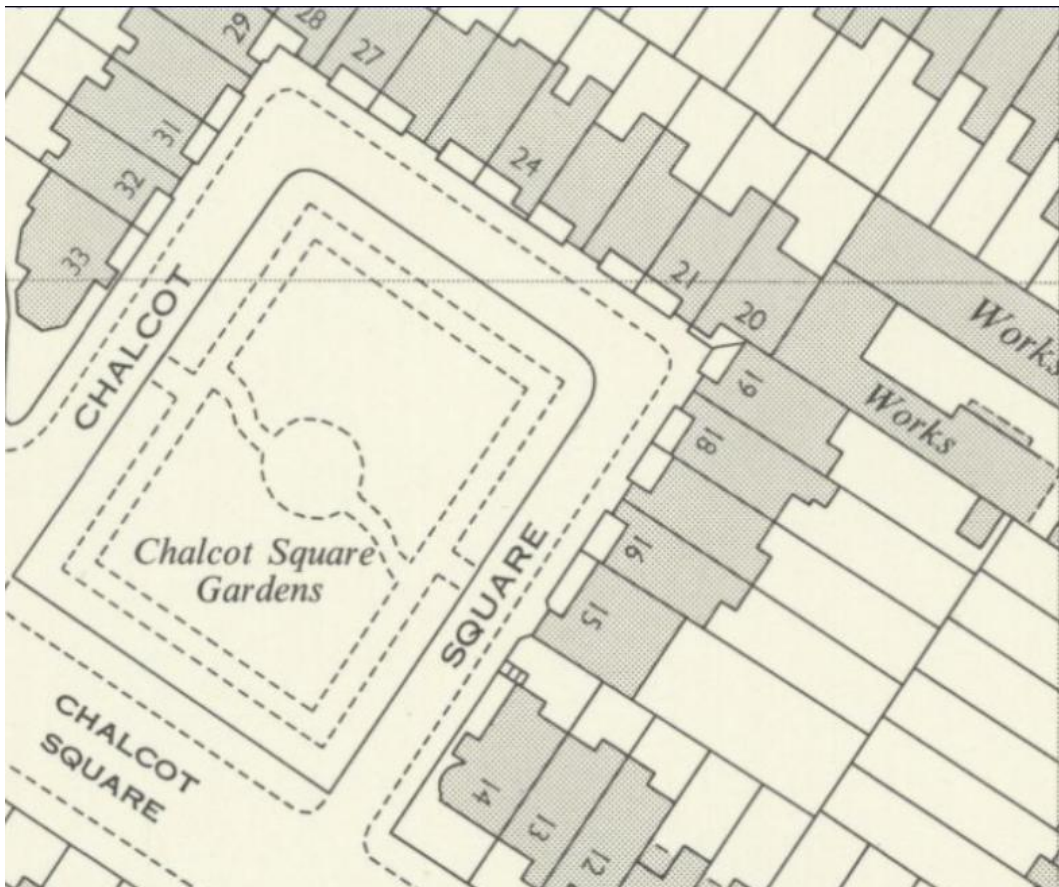


Figure 5: 1965 OS Map



Figure 6: 1968 photograph

3.9 Interestingly in the 1950s and 1960s the property was the address used for a cabaret company (called the Martini Cabaret Productions, then later the Three Martinis)⁷, run by a dancer named Sheila Logan.

3.10 In the 1980s many internal and external alterations were made to the property, including rearrangement of walls, new openings, insertion of drop lights, the addition of a rear balcony, replacement of third floor and ground floor window nearest the door to the front elevation, replacement of windows and external doors to rear elevation and two rooflights (8670211; Appendix 3).

Existing Arrangement

3.11 Numbers 15-19 Chalcot Square are officially described as follows:

Terrace of 5 houses forming south side of Chalcot Square. 1855-60, altered. Stucco with rusticated ground floors, mostly painted. Nos 16, 17 & 19, slate mansard roofs with dormers. EXTERIOR: 3 storeys, attics and basements except Nos 15 & 18, slightly projecting, with 4 storeys and basements. 3 windows each; No.15, 4 windows. Prostyle Doric porticoes supporting balustraded stucco balconies continuing across 1st floor windows. Doorways with cornice-heads, fanlights, side lights and panelled doors (some part glazed). Tripartite sashes to ground floors except No.15 with 3 2-pane sashes. Projecting houses with panelled pilasters at angles rising from 1st floor level to support the main entablature with modillion cornice (which continues across other houses) below attic storey. Upper floors, lugged architrave sashes with margin glazing; 1st floors joined by continuous cornice with keystones above windows and console-brackets between and pediments over central windows (Nos 15 & 17, segmental). 2nd floors with keystones; central windows having large keystone projecting into the architrave above. Attic storeys with pilaster strips at angles, cornice and blocking course. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings to areas.

Exterior

⁷ The Stage - Thursday 10 December 1959

3.12 The front elevation appears largely as it would have done originally, aside from significant changes to the front door and portico – which was extended and altered both pre 1968 and again in the 1980s – and alteration to what was once the attic and is now the third floor. Window frames are timber but later replacements, and no historic glazing survives. The glazing would originally have been crown glass which has a varied surface ('wavy') appearance (see example on page 11 of Historic England's *Traditional Windows: their care, repair and upgrading* 2017). As Historic England state in 2017 document earlier glass has a '*...varied surface interest...*', which the majority of the glazing at 15 Chalcot Square does not, clearly evidencing that the glazing is modern. There are a few examples of glazing panes at within the property that have a consistent wave, however, this consistent wave suggests that it is flat drawn sheet glass which was developed and used from the mid-20th century, not the 19th century. Therefore, all glazing and windows within the property date to the mid-late 20th century.



Figure 7: Side elevation

- 3.13** The side elevation has two circular windows with arched architraves at first and second floor level. It is unclear when these were added, though it is clearly after 1937 and a different fenestration pattern is shown on these plans (ground to second floor all match). The glazing within these windows was replaced post 1980s.
- 3.14** The rear elevation has undergone significant alteration that is not only evident from earlier plans but also its appearance when compared to the other house within the terrace. It has been rendered and windows are all late 20th century replacements, with many having been replaced as part of the 1986 works (see plans in Appendix 3). The balconies date to the late 20th century (planning ref: PE9800589R1), which replaced balconies added in the 1980s (8670211).

Interior

3.15 When compared to the other floors within the house the original plan form of the lower ground floor (basement) remains legible, with the only obvious alterations being the enlargement and subdivision of what was the bathroom and hallway (currently a walk in wardrobe). As evidenced by the 1980s plans all decorative features – including fireplace surrounds and shutters – are modern.



Figure 8: Rear room lower ground floor

3.16 The ground floor has undergone significant alteration, as is clearly evidenced when comparing the 1937 plan to the existing plans. The size of the front room has been enlarged and a curved wall added (east wall), therefore reducing the size of the hallway. Whilst the dimensions of the rear room have largely stayed the same as in 1937, the 1980s plans show that the south and east wall were rebuilt. The plasterwork all matches suggesting that at the very least large portions have been replaced (though the style is in keeping with the period of the property). The ceiling rose in the kitchen has been significantly altered through the addition lighting. The fireplace within the front room appears to be original (or at least a good replica) as it matches the description in the 1867 lease agreement. The fireplace and chimney

breast in the rear room has been significantly altered to incorporate the modern kitchen.



Figure 9: Front room ground floor

- 3.17** As discussed above the porch/portico has been extended and altered.
- 3.18** Both the main staircase and the staircase from ground floor to lower ground floor are historic, though have had some alteration over the years.
- 3.19** As we can see in **Figure 4** the plan form of the first floor has been considerably altered, and like the ground floor decorative plasterwork are later replicas. The fireplace in the front room matches the description in the 1867 lease and so is likely original or a good replica. The fireplace in the rear room is a later addition.
- 3.20** At second floor level the main front and rear room have retained their historic dimensions, though the side rooms have been subdivided. The fireplace surround in the rear room has been removed and the surround in the front room matches that at lower ground floor level and is a modern addition.



Figure 10: Rear room first floor

- 3.21** The third floor has been significantly altered and is essentially a modern addition. One significant addition is the staircase from second to third floor level which was added in 1986 (see Appendix 3).

4. Statement of Significance

Assessment of Significance

- 4.1** This chapter of the report establishes the significance of the relevant heritage assets in the terms set out in the NPPF, and comments on the contribution of setting to significance. In accordance with paragraph 207 of the NPPF, the descriptions are proportionate to the asset's significance and are sufficient to understand the nature of any impact the proposals may have upon that significance.
- 4.2** With regards to matters of setting, the identification of the heritage assets equates to Step 1 of GPA3, and the assessment of significance equates to Step 2 of GPA3. Steps 2 and 3 of GPA3 are closely connected, so this chapter should be read in conjunction with Chapter 5 (Heritage Impact Assessment).
- 4.3** It is recognised that not all parts of a heritage asset will necessarily be of equal significance. In some cases, certain aspects or elements could accommodate change without affecting the Government's objective, which includes the conservation of heritage assets and which seeks to ensure that decisions are based on the nature, extent and level of significance of heritage assets. Change is only considered to be harmful if it erodes an asset's significance. Understanding the significance of any heritage asset affected is therefore fundamental to understanding the scope for and acceptability of change.

15 Chalcot Square

- 4.4** The significance of 15 Chalcot Square has to be expressed in terms of the whole terrace (which together constitutes the listed building).
- 4.5** Architectural interest: 15 Chalcot Square is an important harmonious element in its immediate terrace of houses, and it is part of an important visual end-stop in the south-west to north-east view on the eastern side of Chalcot Square. It is a good example of a mid-19th century Classical house, including a well-preserved front

elevation with decoration and stucco enrichment, though alterations to its portico have somewhat reduced its significance. Overall, it makes a significant architectural contribution to the character and appearance of the square.

4.6

The rear is evidently less architecturally decorative and has been rebuilt to align with the rear building line of the other houses in the terrace. Its design is more art-deco than mid-19th century. This has diminished its architectural interest, to a point where it is of low architectural interest.



Figure 11: Rear elevation

4.7

The interior of 15 Chalcot Square has a minor degree of architectural interest as surviving elements are limited, though the hierarchy of the internal space is still evident.

- 4.8** Historic interest: 15 Chalcot Square is a well-preserved component of the development of a Victorian planned square in London. In terms of historic associations its ownership and occupation by Sheila Logan – a British dancer in the mid-20th century – is of some historic interest, though only in a minor way.
- 4.9** Archaeological interest: 15 Chalcot Square is not of archaeological interest in its own right.
- 4.10** Artistic interest: The building is part of a larger architectural ensemble which has an element of being set out artistically around a garden within a square.
- 4.11** In summary, 15 Chalcot Square is of high heritage significance, being of at least regional importance in its own right and contributing to the character and appearance of a London square that is of national importance.

Setting

- 4.12** The setting of the listed building is briefly analysed in the following paragraphs.
- 4.13** Landscape and topography: The topography is dominated and influenced by the square and the central garden, of which number 15 and its attached neighbours forms an important component.
- 4.14** Routes: The setting of 15 Chalcot Square is heavily influenced by the main rectangular road system around the square.
- 4.15** Character: The Classical character and appearance of 15 Chalcot Square is consistent with the prevailing character of other buildings around the square, and it forms an important part of a larger group of structures.
- 4.16** Views in/out/across: There are important views of the listed building north-eastward along the road on the east side of the square, and at angles looking east across the square from the road on the west side. There are also views from within the central gardens.
- 4.17** Context: 15 Chalcot Square is contextually linked with the development of the square as a whole in the period c.1850.

- 4.18** In summary, the setting of 15 Chalcot Square is in this particular case more important than the building itself, because it is made up of a unique planned group of houses around a central garden, visually and contextually linked with the surrounding area. The setting of the listed building therefore makes a considerable contribution to its significance, and it is within that setting that the principal components of its architectural and historic interest are experienced.

16 Chalcot Square

- 4.19** The significance of No 16 Chalcot Square is essentially the same as that of No.15, though externally it appears to have had less alteration. They also share a setting meaning that their setting makes a considerable contribution to their significance, and it is within their setting that the principal components of their architectural and historic interest are experienced.

Primrose Hill Conservation Area

- 4.20** The Primrose Hill Conservation Area was designated on 1st October 1971 and extended to include the north part of Erskine Road on the 18th June 1985. The area *"is made up of a series of well laid out Victorian terraces. It is residential in character, although there are a number of local industries, and it has its own shopping centres, a primary school and, because of the vicinity of Primrose Hill, is extremely well provided with open space"*.



Figure 12: View from within the central garden

4.21 15 Chalcot Square is located within sub area 2 – Central Area. It is described with Primrose Hill Conservation Area Appraisal (2000):

"Chalcot Square is a significant feature of the Conservation Area and is surrounded by a large number of mid-19th century listed buildings. The form of the open space and the surrounding built composition is unusual, as the design accommodates a pre-existing road layout. The open space is subsequently offset from the planned focal point north-westerly along Chalcot Road.

The main road in Chalcot Square is a continuation of Chalcot Road and is of a generous width. On the south side of the road is a listed terrace of mid-19th century houses with front garden areas. These buildings are three storeys high with attics, or mansard roofs, and are grand in character with stucco decoration to the main facades, decorative window surrounds, prominent cornices and projecting porches. On the north side of the road is a grassed public open space, which is bounded by railings and contains a number of mature trees and a play area. The space is enclosed on its north, east and west sides by mid-19th century listed terrace houses, which form an almost symmetrical composition. They are similar in elevational design to the buildings on the south side of the

square, but have a more intimate character, as they are separated from the public space by only a small front lightwell surrounded by railings and a narrow highway. All of the mid-19th century terrace houses surrounding Chalcot Square are particularly distinctive due to the use of paint colours on their stucco facades. The majority of these properties are painted in muted pastel shades, which afford each property an individual character and adds vibrancy to the square."

- 4.22** Overall, Primrose Hill Conservation Area is an area of outstanding architectural and historic importance, and it is of national significance.

5. Heritage Impact Assessment

5.1 This chapter of the report assesses the impact of the proposed development on the significance of the heritage assets identified in the previous chapter, including effects on the setting of those assets. With regards to setting matters, it equates to Step 3 of GPA3, which has a close connection with Step 2. This chapter should be read in conjunction with the preceding chapter.

Proposed Development

4.23 The proposal is for the renovation and restoration of 15 Chalcot Square. The proposals include:

- Lower Ground Floor: Removal of non-original partitions to reconfigure internal spaces to the SW side of the property. Acoustic enclosure to rear garden to house ASHP.
- Ground Floor: Refurbishment and restoration of drawing room & entry hallway to front. Reconfiguration of kitchen/dining room. Replacement of existing external terrace, balustrade & staircase.
- First Floor: Reconfiguration of first floor spaces to create master suite; new dressing spaces accessible from master bedroom & ensuite.
- Second Floor: Refurbishment and restoration of front bedroom & ensuite.
- Third Floor: Refurbishment and restoration of bedrooms & ensuites.
- Roof: Replacement of 2 no. existing rooflights with 2 no. conservation rooflights to rear roof.
- Replacement of existing roof tiles and lead coverings where necessary.
- Additional: Address heating (installation of under floor heating); Replacement of windows throughout the building; refer to elevations for details.
- General: All existing cornicing, architraves, skirting to be retained and refurbished where possible.

Impact Assessment

Exterior

- 5.2** All windows are 20th century replicas, and these would be replaced like for like, only with slimline glazing inserted. As the existing window frames and glazing are not original, and the visual impact would be negligible, no harm would be caused to the significance of the listed building or the conservation area.
- 5.3** The existing render finish would be painted. The colour is yet to be decided (if required this could be conditioned). It is proposed to use limewash paint on the front and side facade. This is a natural product made of clay, lime & natural pigments that will allow the building to breathe. As long as the colour is suitable, no harm would be caused to the significance of any of the heritage assets.
- 5.4** Two of the existing rooflights to the rear roof would be replaced with conservation rooflights and roof tiles and lead coverings would be replaced like for like where necessary. These proposals would have a minor beneficial effect on the external appearance of the house.
- 5.5** To the rear the existing balconies and staircase would be demolished and replaced with suitable alternatives in keeping with the character of the listed building. As the balcony and staircase are modern additions this would not cause harm to the significance of the listed building or the conservation area.

Acoustic enclosure

- 5.6** A small acoustic enclosure is proposed to be constructed in the garden of No.15, to house the proposed ASHP. Its proposed size would ensure that it would be read as a small ancillary structure to the main house (much like a shed) and not dominate or distract from the listed building in anyway. The features of setting that contribute to the listed building (as discussed in section 4) would be unaffected.

Lower ground floor

- 5.7** There would be a small impact on original fabric at the lower ground floor level with the removal of the south wall of the rear room. However, the lower hierarchy of the space when compared to the ground and first floors means that it can

accommodate the change without a significant amount of harm being caused. In addition, part of the original planform next to the staircase (west) would be restored, a minor heritage benefit.

- 5.8** All other partitions and fabric proposed to be affected are modern – dating from the 1980s – and so the removal and replacement would not cause harm to the significance of the listed building.

Ground, first second and third floor

- 5.9** Proposed alterations at ground, first and second floor level would only effect modern additions, such as partition walls altered as part of the 1980s alterations (see Appendix 3 and D&S section 3). As modern fabric the removal of these walls/parts of walls would not harm the significance of the listed building.
- 5.10** At first and second floor the original plan form would be reinstated. This should be considered a heritage benefit.
- 5.11** The third floor is a highly altered space, originally being an attic. Proposed changes would only effect modern fabric and additions. Therefore, no harm would be caused to significance.
- 5.12** Throughout the property all existing cornicing, architraves, skirting will be retained and refurbished. If replacement is required – due to existing damage – this will be done in a like for like fashion.

Summary and Policy Compliance

- 5.13** The proposed development is based on an understanding of the character of 15 Chalcot Square and Primrose Hill Conservation Area, their historic development and significance. The proposed development has been informed by this alongside desk based research and on-site assessment of surviving historic fabric with the proposals being specifically designed to provide the building with a long term viable residential use being sensitive to the assets.
- 5.14** The proposed development would preserve the significance of the listed building. It would also result in heritage benefits, including the restoration of the plan form and refurbishment and repair of decorative features.

- 5.15** The proposals are found to preserve the significance of the conservation area and the listed 16 Chalcot Square.

6. Conclusions

6.1 This Heritage Impact Assessment presents an assessment of significance of Numbers 15-19 Chalcot Square (and more specifically 15 Chalcot Square) and Primrose Hill Conservation Area. This is followed by an appraisal of the effects of the proposals upon these heritage assets with consideration given to local and national policy and guidance.

6.2 15 Chalcot Square is an end terrace house built in the mid-19th century. It is grade II listed as part of the terrace Numbers 15-19 and Attached railings (UID: 1258097). The property is within the setting of several other grade II listed buildings (which are also part of Chalcot Square) and is located within the Primrose Hill Conservation Area.

6.3 The proposals are for the renovation of 15 Chalcot Square. Proposals include:

- Lower Ground Floor: Removal of non-original partitions to reconfigure internal spaces to the SW side of the property. Acoustic enclosure to rear garden to house ASHP.
- Ground Floor: Refurbishment and restoration of drawing room & entry hallway to front. Reconfiguration of kitchen/dining room. Replacement of existing external terrace, balustrade & staircase.
- First Floor: Reconfiguration of first floor spaces to create master suite; new dressing spaces accessible from master bedroom & ensuite.
- Second Floor: Refurbishment and restoration of front bedroom & ensuite.
- Third Floor: Refurbishment and restoration of bedrooms & ensuites.
- Roof: Replacement of 2 no. existing rooflights with 2 no. conservation rooflights to rear roof.
- Replacement of existing roof tiles and lead coverings where necessary.
- Additional: Address heating (installation of under floor heating); Replacement of windows throughout the building; refer to elevations for details.
- General: All existing cornicing, architraves, skirting to be retained and refurbished where possible.

6.4

Section 5 of this report presents an assessment of the impact of the proposed works on the significance of the identified heritage assets and concludes that the proposed development would preserve the significance of the listed building, listed terrace and conservation area. Therefore, paragraphs 214 and 215 of the NPPF would not be engaged.

Appendix 1

Scale of Harm (HCUK, 2019)

The table below has been developed by HCUK Group (2019) based on current national policy and guidance. It is intended as simple and effect way to better define harm and the implications of that finding on heritage significance. It reflects the need to be clear about the categories of harm, and the extent of harm within those categories, to designated heritage assets (NPPF, paragraphs 201 and 202, and guidance on NPPG).⁸

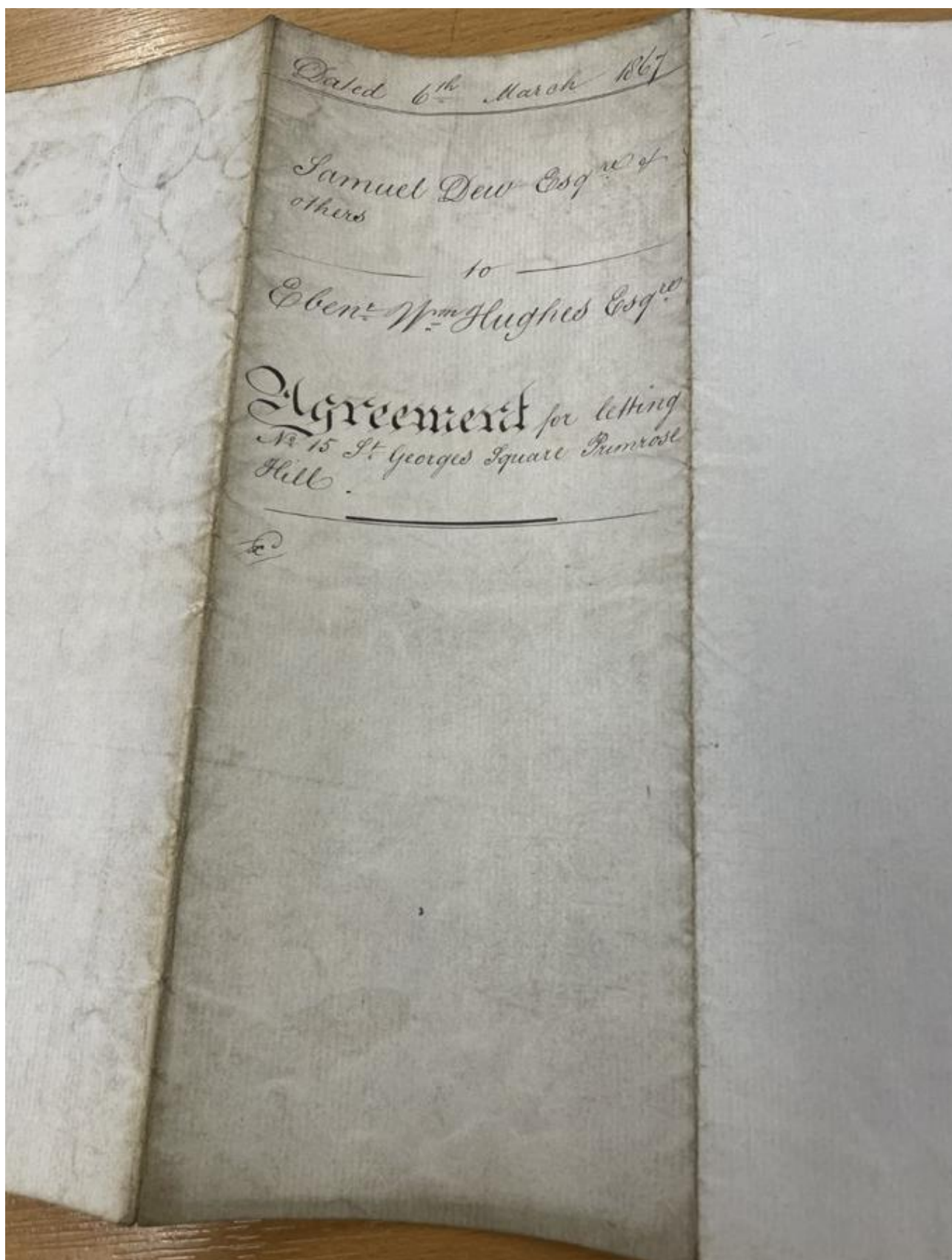
Scale of Harm	
Total Loss	Total removal of the significance of the designated heritage asset.
Substantial Harm	Serious harm that would drain away or vitiate the significance of the designated heritage asset
Less than Substantial Harm	High level harm that could be serious, but not so serious as to vitiate or drain away the significance of the designated heritage asset.
	Medium level harm, not necessarily serious to the significance of the designated heritage asset, but enough to be described as significant, noticeable, or material.
	Low level harm that does not seriously affect the significance of the designated heritage asset.

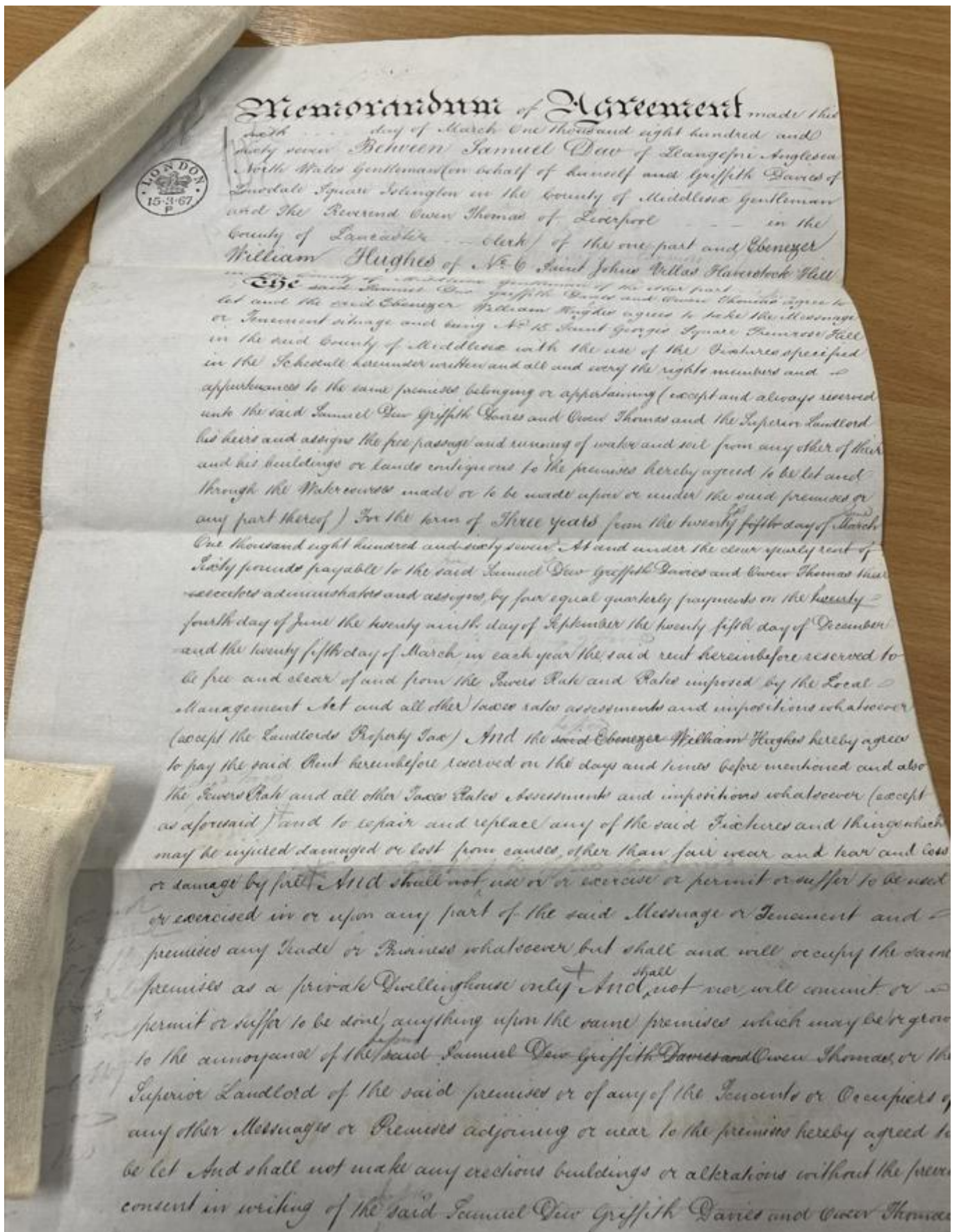
HCUK, 2019

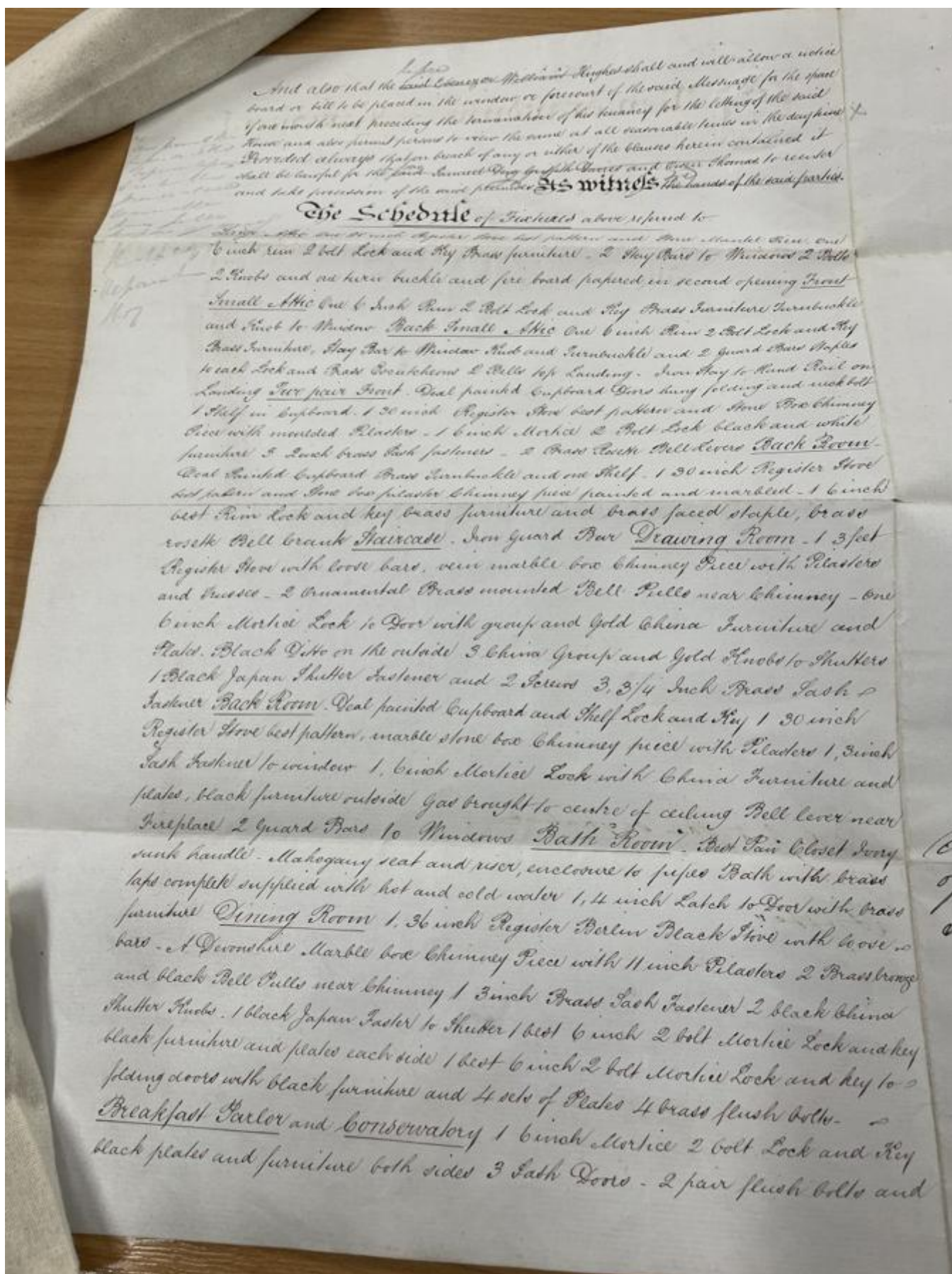
⁸ See NPPG 2019: "Within each category of harm (which category applies should be explicitly identified), the extent of the harm may vary and should be clearly articulated." Paragraph 018 Reference ID: 18a-018-20190723.

Appendix 2

1867 Lease agreement







.Kitchen Latch 1 2 inch best Registered Bronze Door lock bars veined marble one
 Plaster Chimney Piece 1 Brass Bronged bell pull black ironmoldings folding shutters
 with fastener complete 1 Iron Bell to Conservatory Windows with Eastonings Library
 1 20 inch Register Bone 1 Stone plaster box chimney Piece marbled fastener to
 window. Iron guard Bars outside 1 6 inch Iron Lock and Key. Bell and brass
 furniture. Kitchen Iron arch chimney Piece and Deal Shelf 1 4 ft self
 acting Range with oven and boiler, brass top brass handle ~~brass and iron~~ 2
 Deal Cupboards folding doors. 3 shelves in each 2 bolts knob and 2 turnbuckles
 Supply kitchen ball cock and copper ball 3/4 inch brass fasteners to window.
 A 7 ft Dress 3 Drawers cut Standards and Shelves. 3 Mahogany Shelves to
 Dressing Room 2 6 inch Pine Latch on Mahogany Door with Keys brass furniture
 and brass mounted staple Bone Bone to Window 2 small doors to hall marble mounted
Staircase 1 iron shelf and pillar on 3 side 1 short D.H. on one side perforated fine
 panel near Door 4 inch lock to Door. Iron bar to Window. Lobby Brass top to
 window Ball Cock and Copper Ball 1 6 inch 2 bolt Lock to head Door Brass
 handle and staple 2 inch Bolts on Door. Hall Turnbuckle and Knob to coat
 cellar Door also to Out Side and Water Closet Door Brass sunk handle and lever
 to Water Closet Lock and Key to area gate. Hall Door. Lamp over Door gas Pipe to
 Lamp. Gate to Water closet on Landing Housekeeper's Room back of Kitchen four
 folding Doors to China Closet one Deal Shelf around 3 sides of same 1 bolt knob
 and turnbuckle to door. 1 30 inch Registered Bone Plaster box Stone chimney Piece
 marbled. A large Cupboard 3 shelves turnbuckle and iron knob 3 inch each
 fastener to window. A 6 inch iron lock and key with brass furniture on door
 and brass mounted staple broken. Cellars 3 ft Stone Sink. Iron ball grated
 trap and waste pipe brass top and 3/4 inch service pipe 1 Deal Shelf 11 feet 3
 inches x 11 inches and 1 inch 1 cleat and 2 Brackets. A 6 inch iron Lock and
 key brass furniture and brass face or mounting to staple 2 6 inch bolts on door
 2 lift Shutters Shutter Plates and Screws Turnbuckle and Knob to Door under
 Pairs Iron Galvanized Copper set in Brickwork with furnace door all complete.
Water Cellar Deal Shelf Dead Lock and Key to Door. 7 Bells mounted
 on headed boards in Basement with all cranks Wires Levers bearings
 &c.

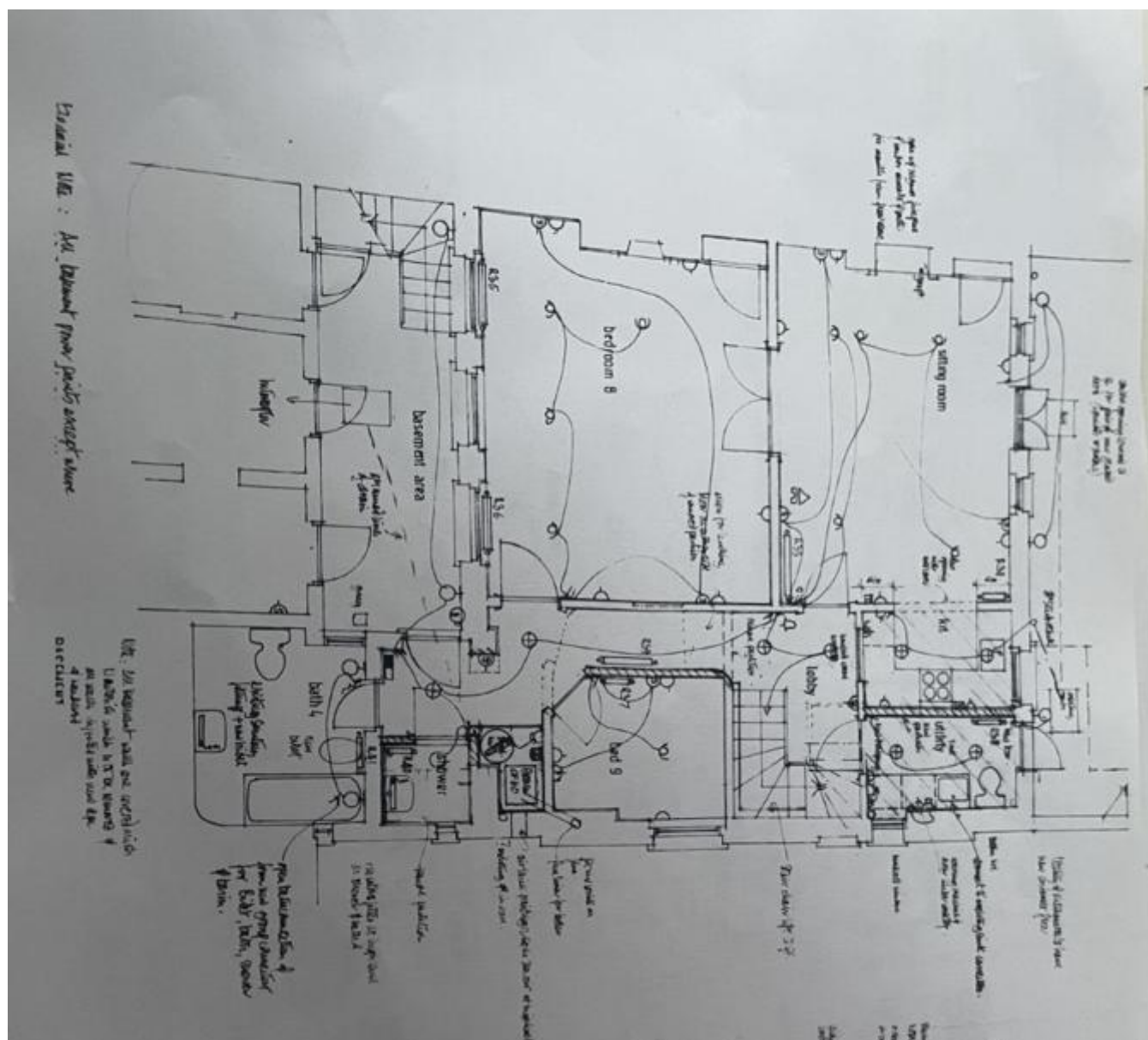
Witness to the signature
 of the said Ebenezer William
 Hughes.

John George Liddiard
 5 Queen Square,
 Westminster
 March 14th 1867

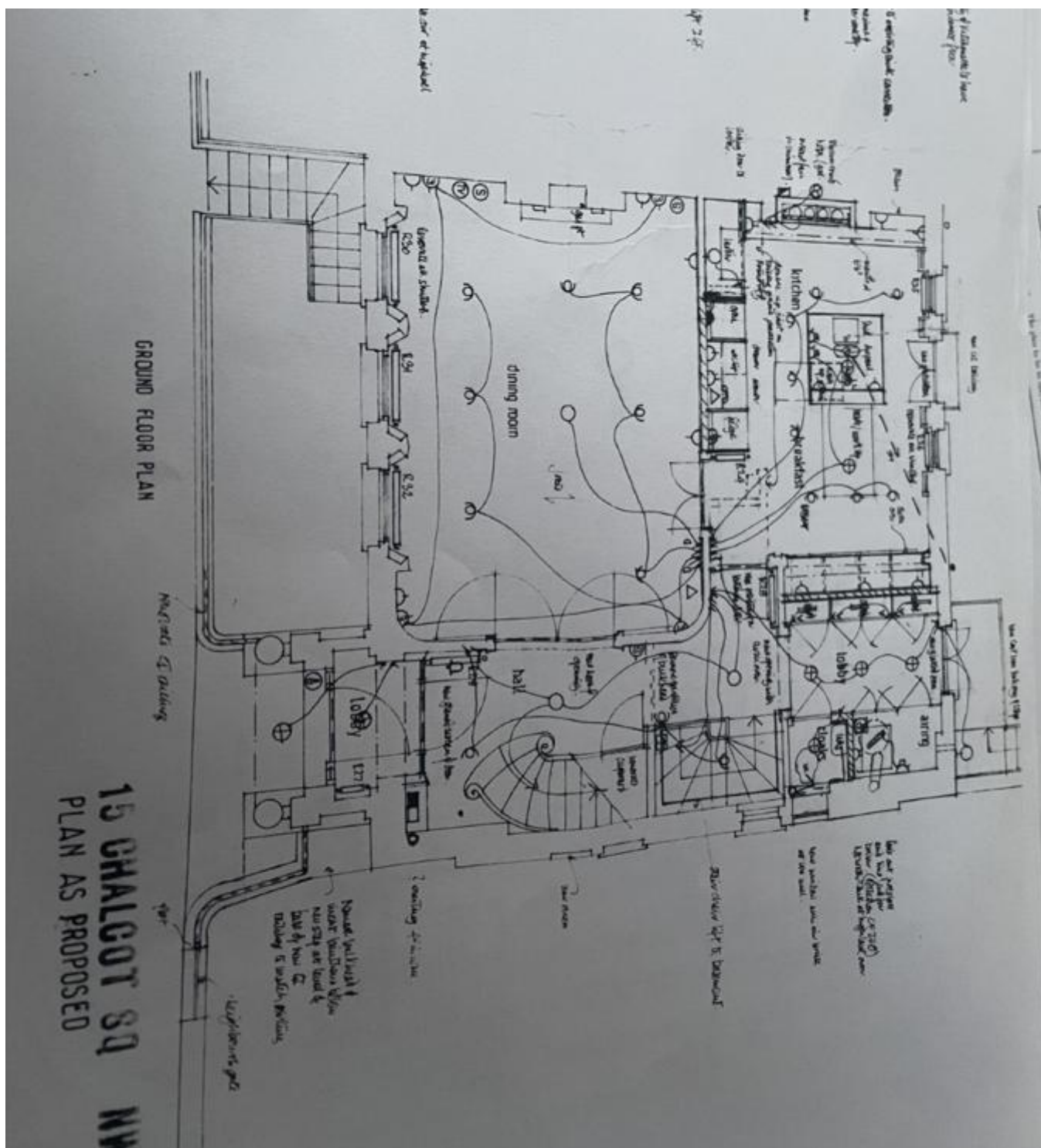
Ebenezer William Hughes

Appendix 3

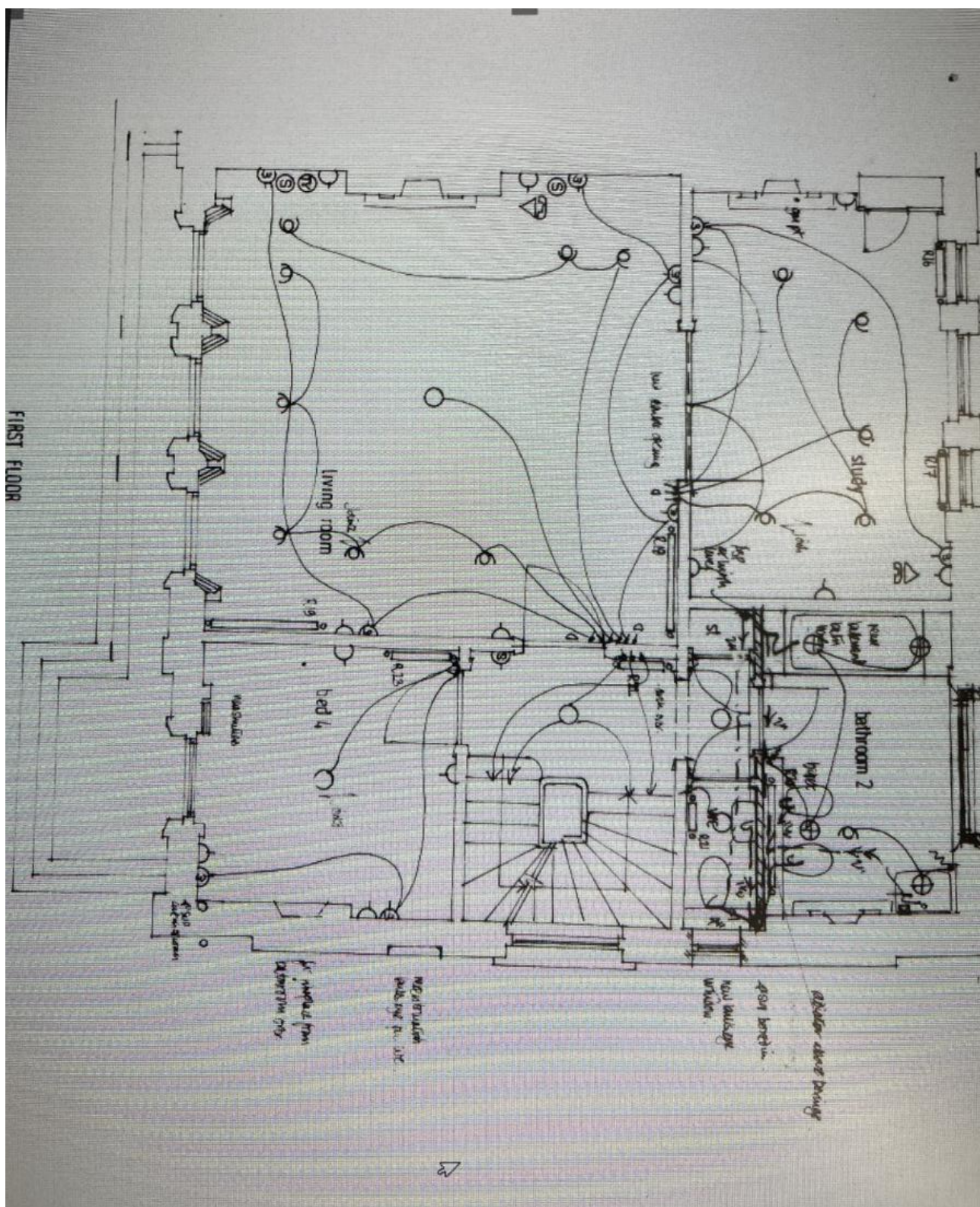
1986 drawings



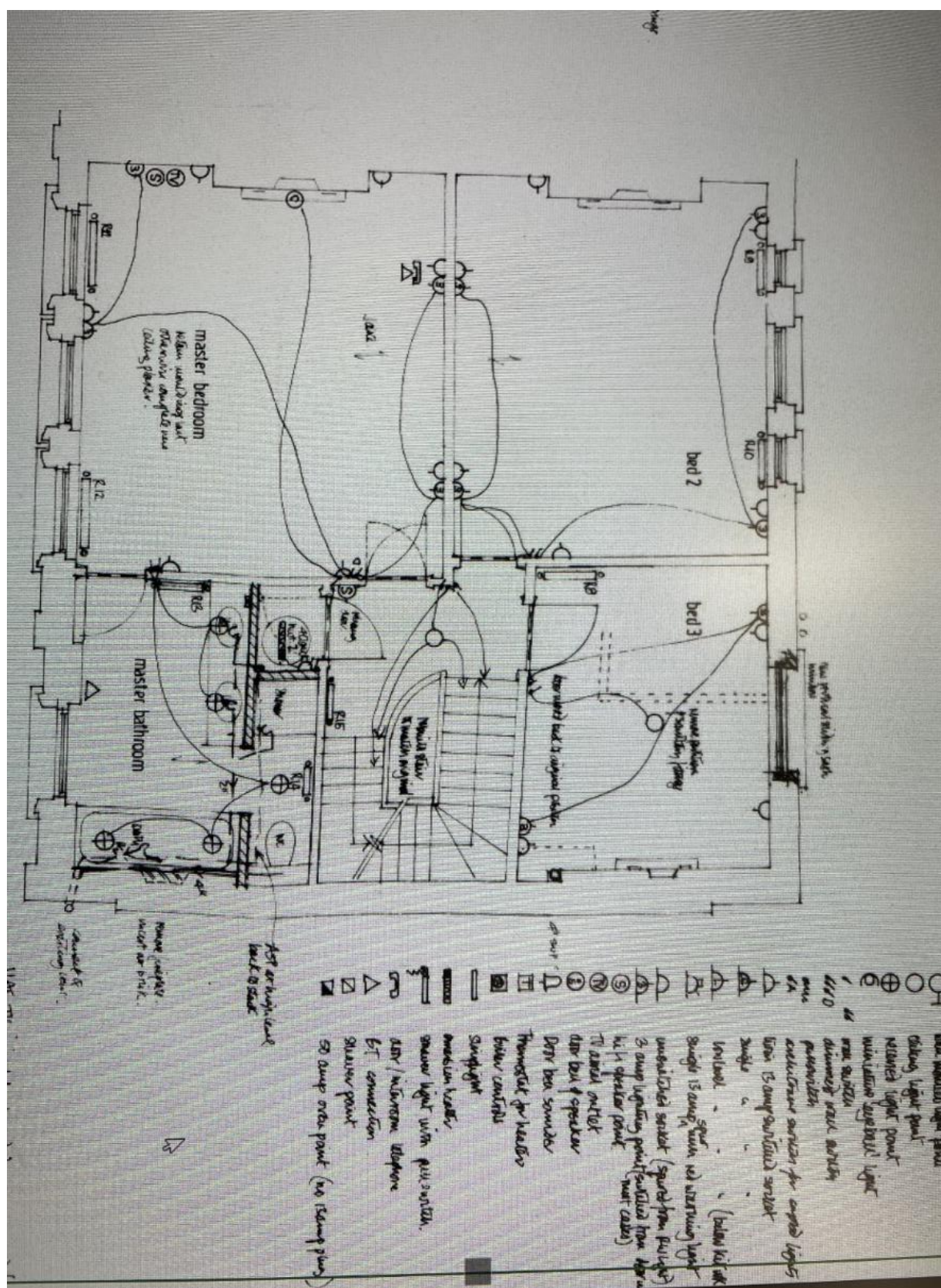
Basement



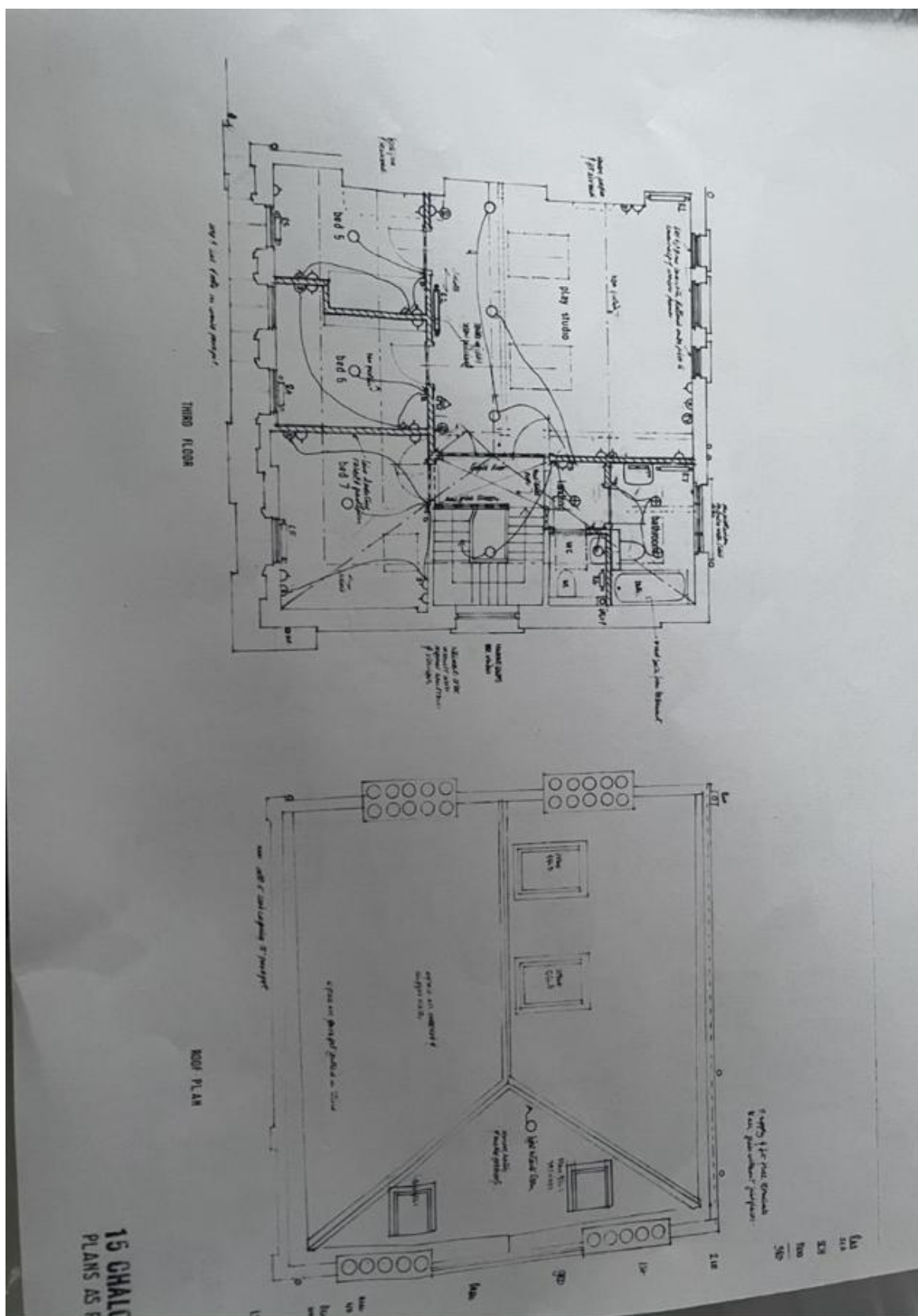
Ground floor



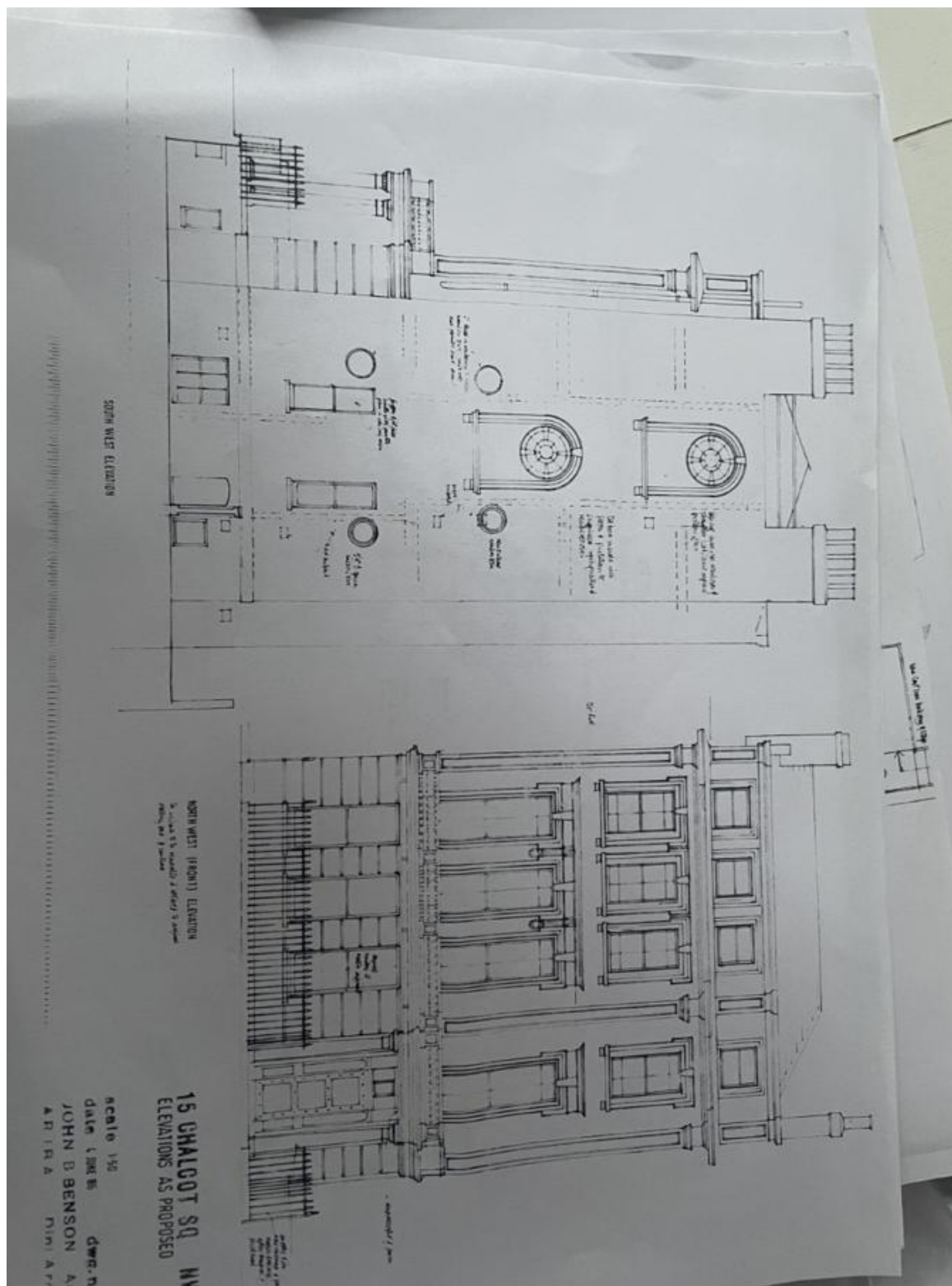
First Floor



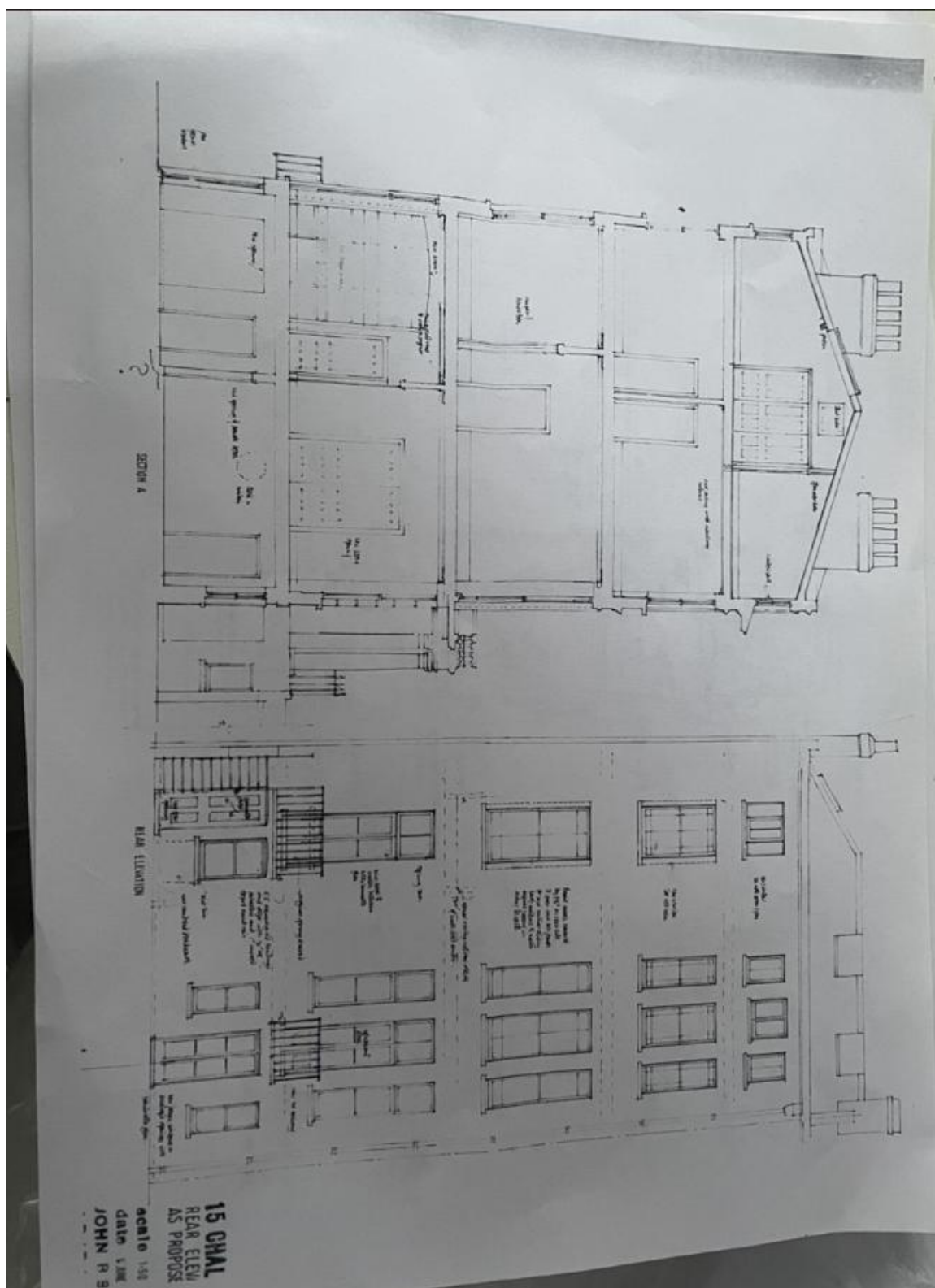
Second Floor



Third Floor and Roof



Front and side elevation



Rear elevation

Standard Sources

<https://maps.nls.uk>

<https://historicengland.org.uk/listing/the-list>

www.heritagegateway.org.uk

<http://magic.defra.gov.uk>

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The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning Note 3 (Second Edition). Historic England (2017 edition)

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