

51 Willow Rd, London NW3 1TP, UK

Planning application
Front Garden
51 Willoe Rd, NW3 1TP, UK

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Planning application documents

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51 Willow Rd, London NW3 1TP, UK

Existing Site Photographs



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Existing Site Photographs



FEBRUARY 2025

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Planning application document - Existing plan - scale 1:200



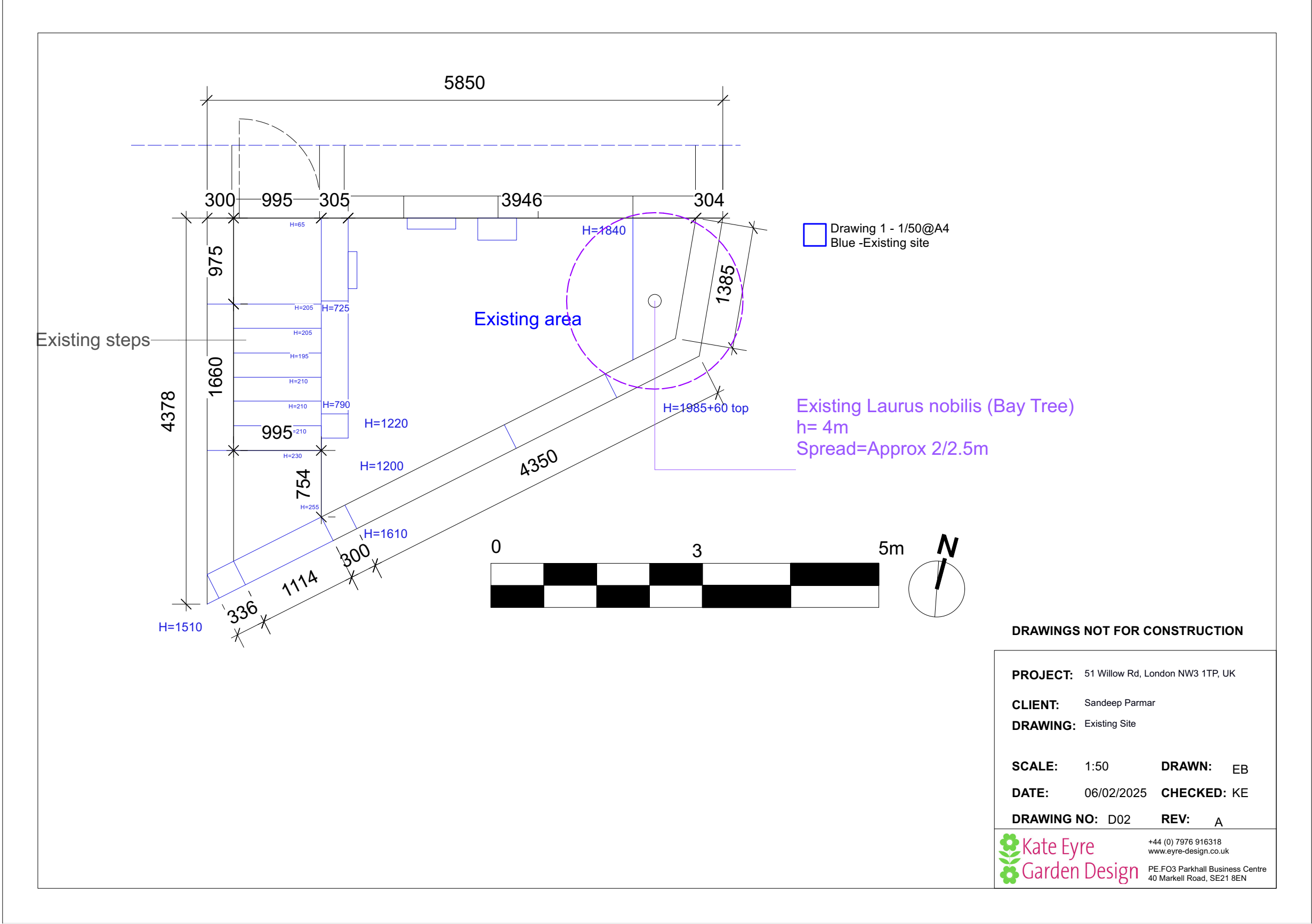
51 Willow Rd, London NW3 1TP, UK

Planning application document - Proposed plan - scale 1:200



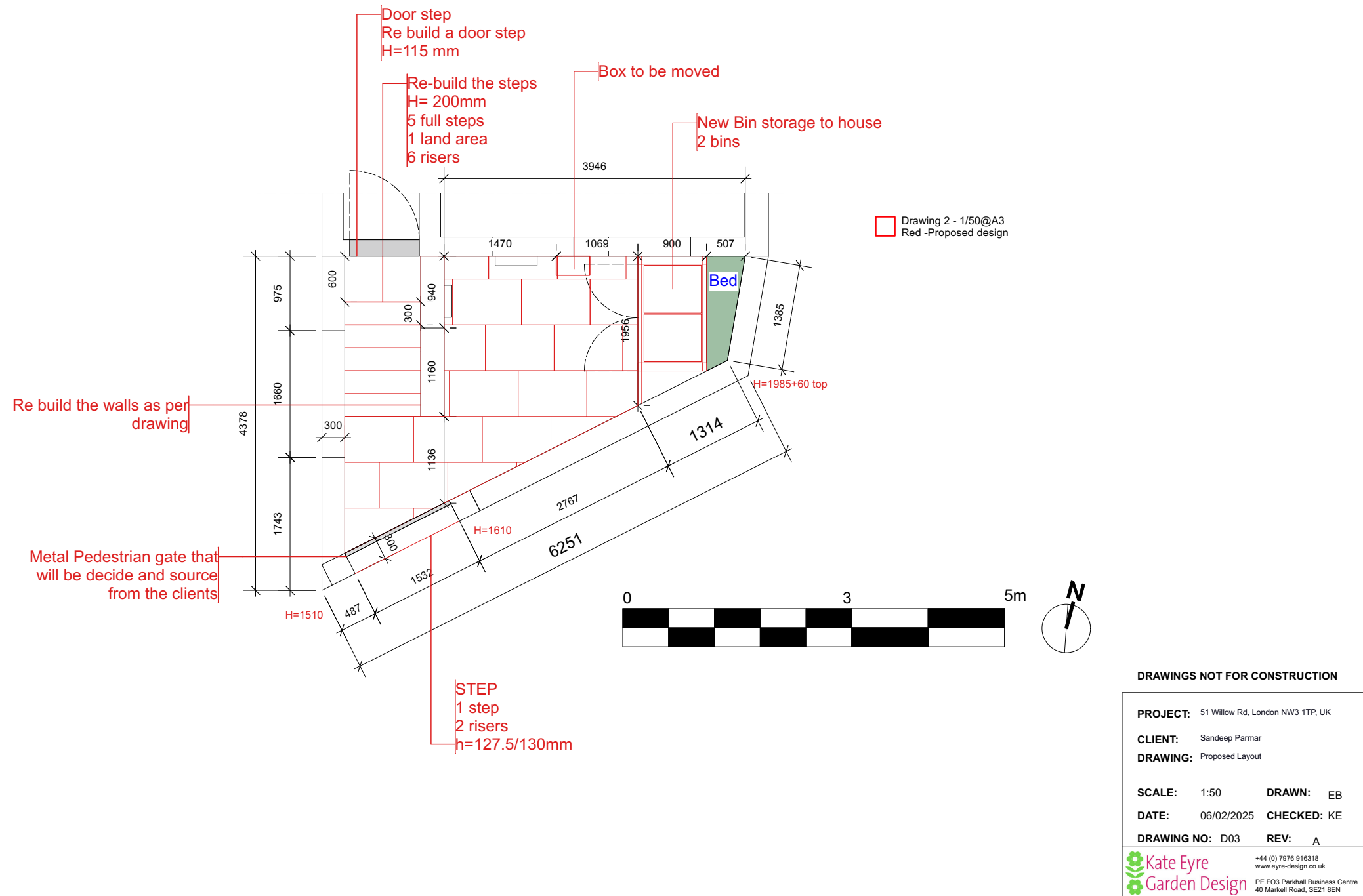
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Planning application document - Existing site - scale 1:50



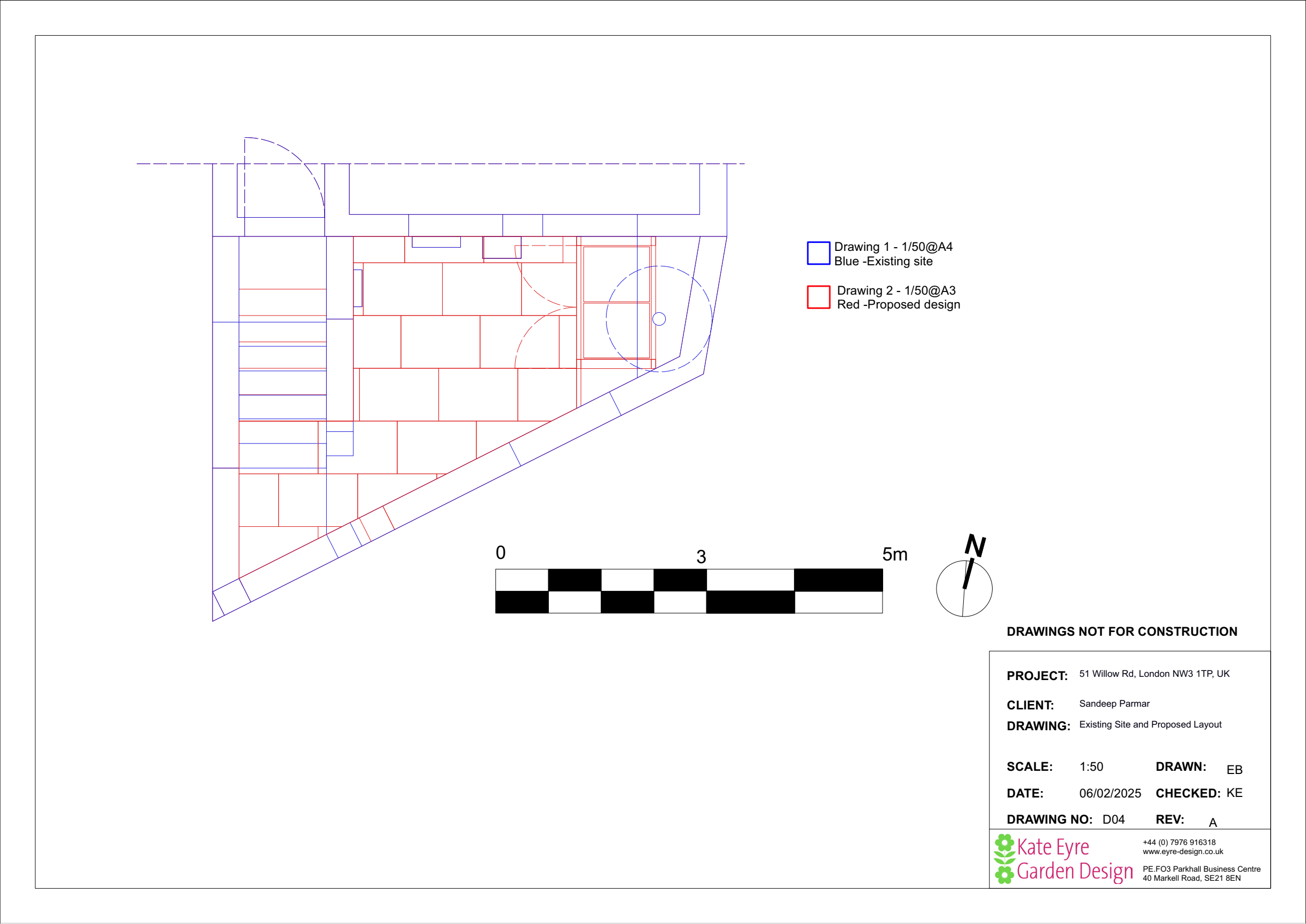
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Planning application document - Proposed layout - scale 1:50



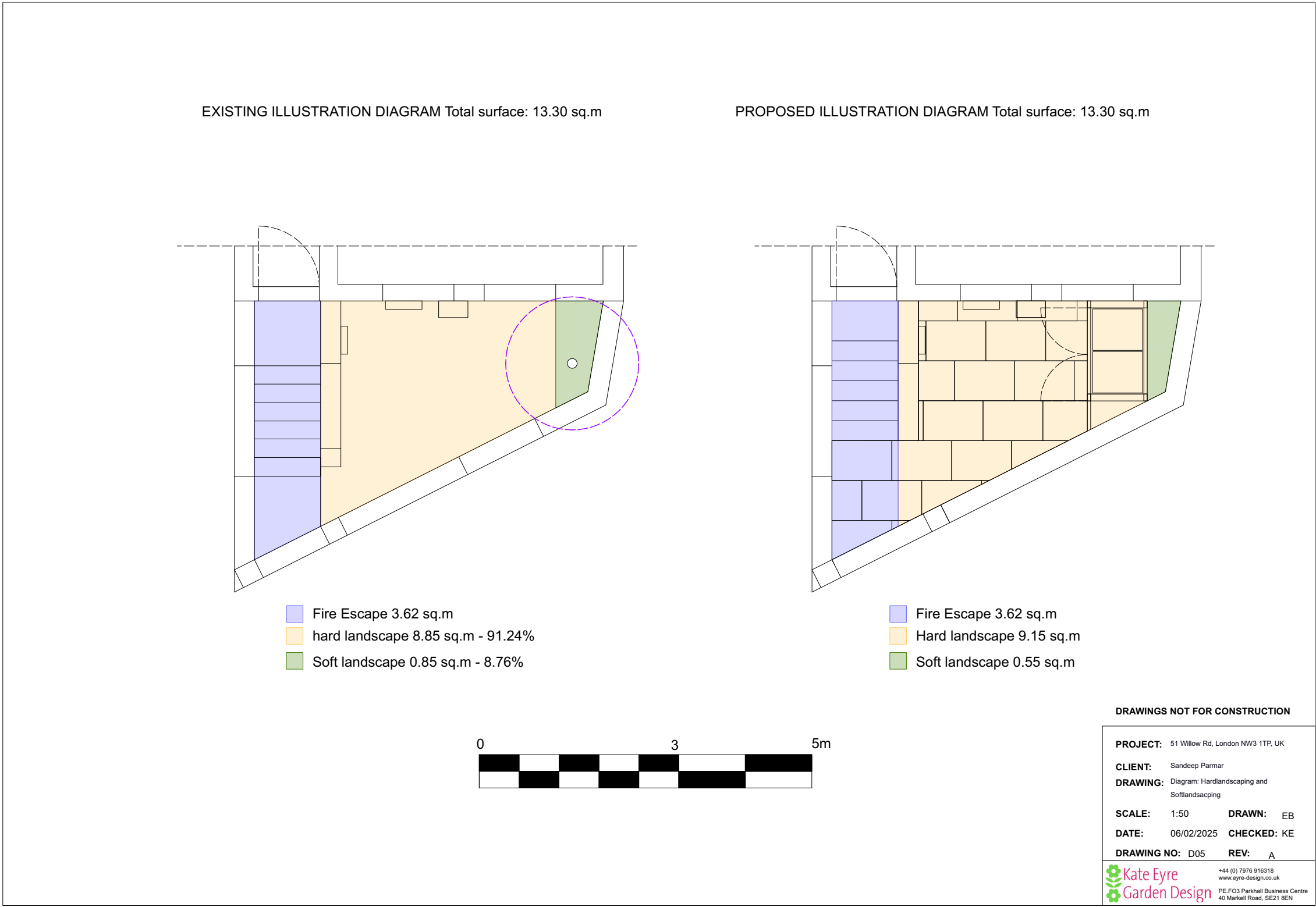
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Planning application document - Existing Site and Proposed layout - scale 1:50



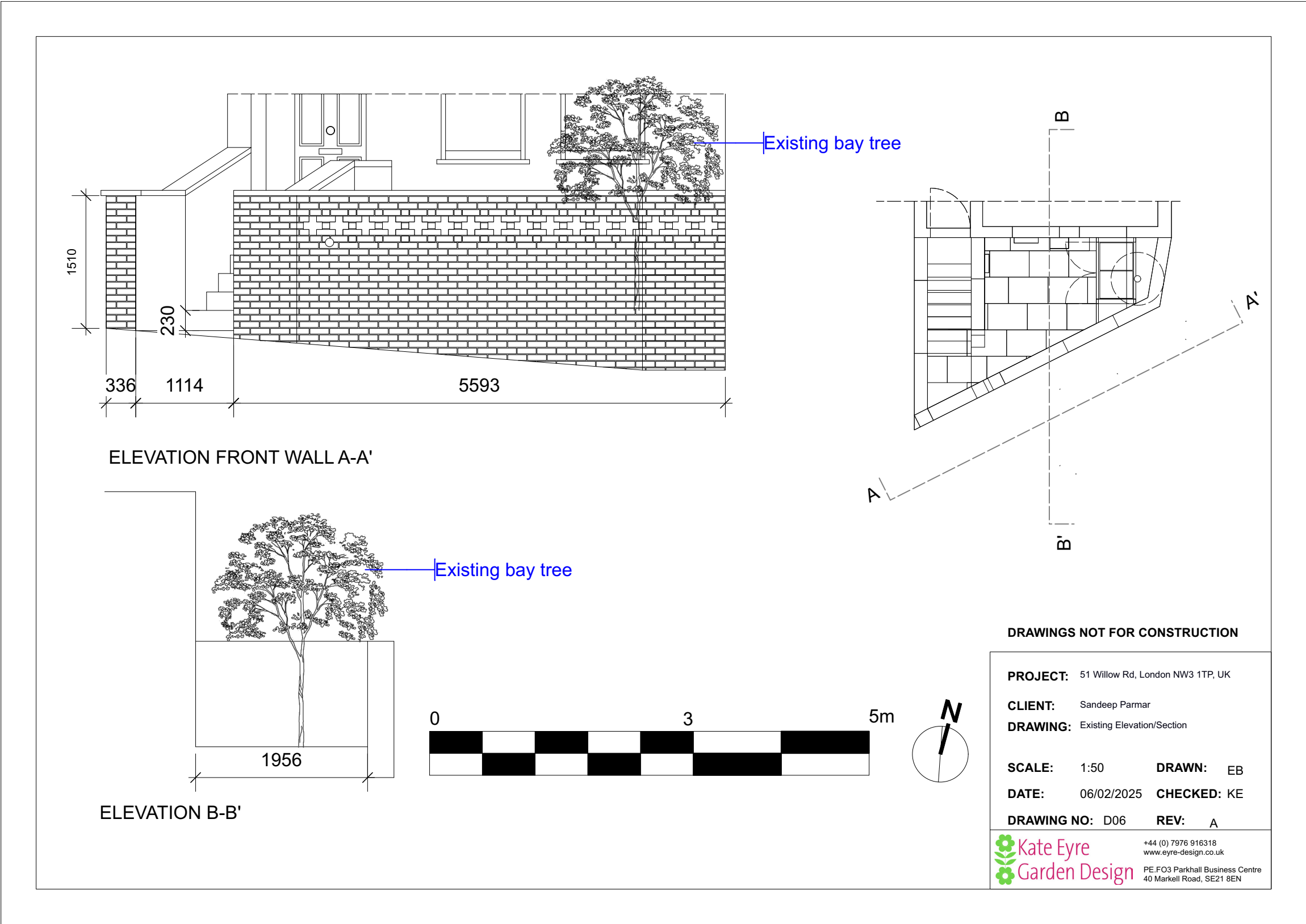
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Planning application document - Illustration diagram of existing and proposed plan - scale 1:50



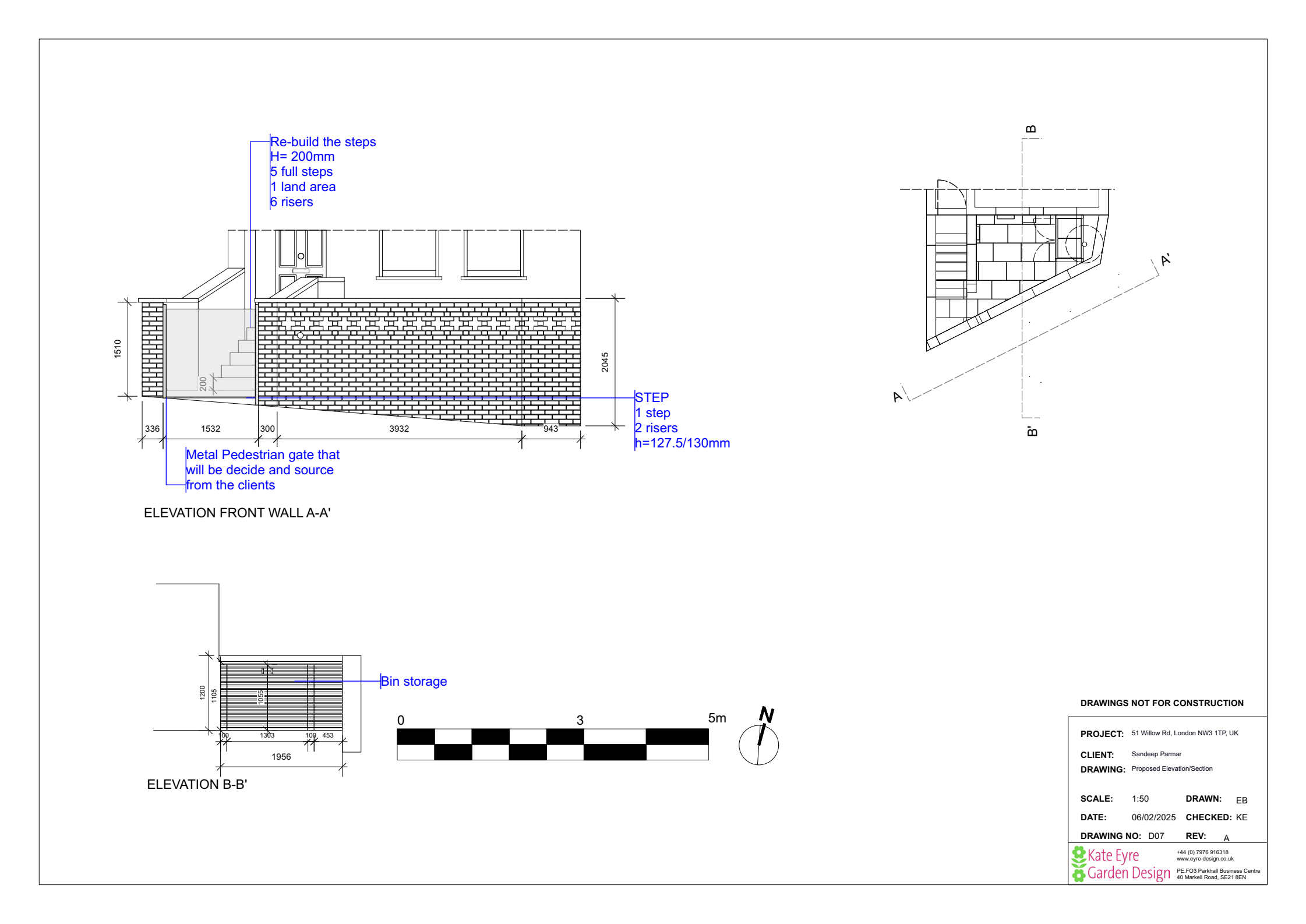
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Planning application document - Existing site Elevation drawings A-A' and B-B' - scale 1:100



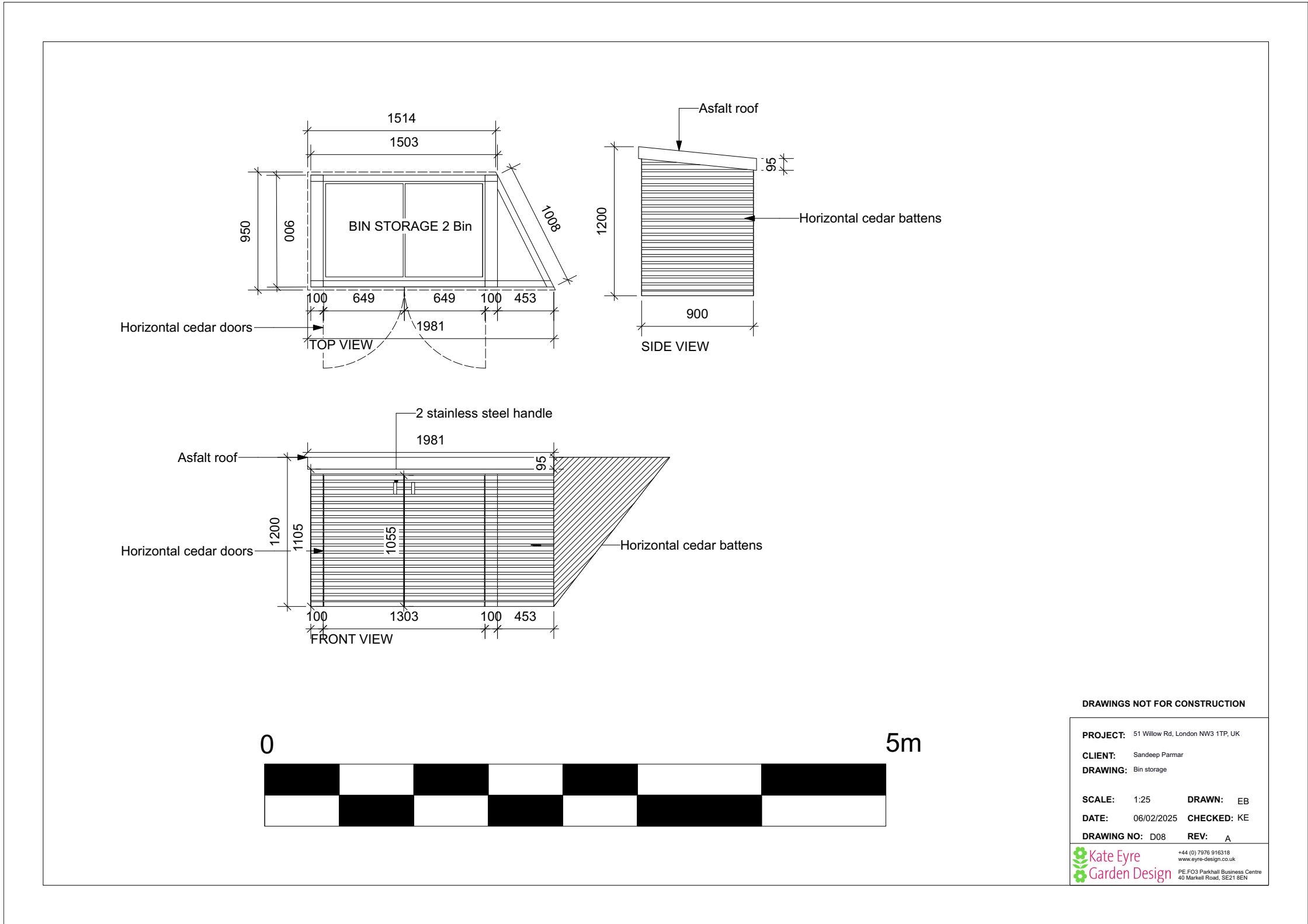
51 Willow Rd, London NW3 1TP, UK

Planning application document - Proposed plan Elevation drawings A-A' and B-B' - scale 1:100



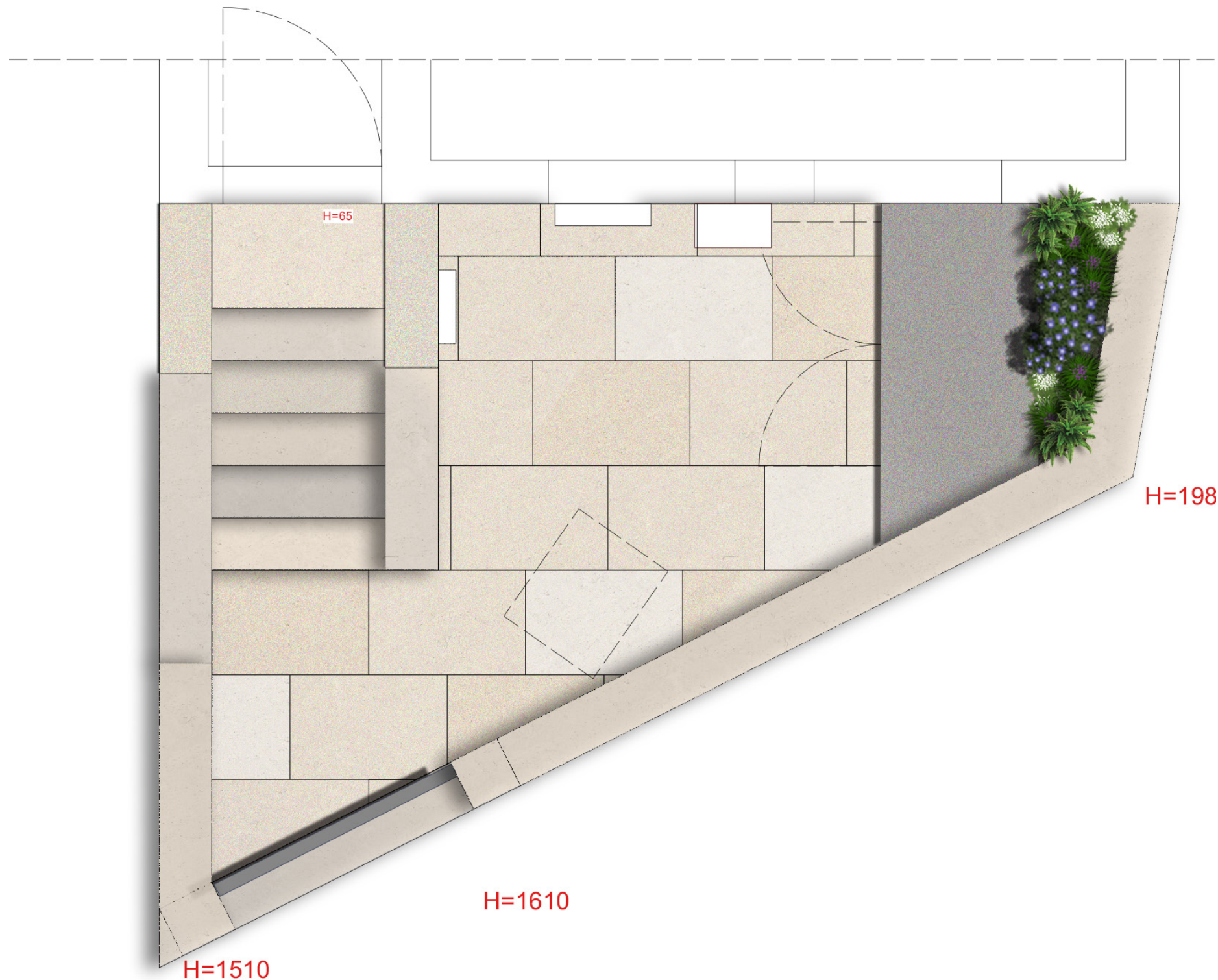
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Planning application document - Proposed layout and elevation - BIN STORAGE - scale 1:25



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Planning application document - Proposed render layout - Not in scale



The proposed front garden redesign at 51 Willow Road aims to significantly enhance the property's overall appearance and contribute positively to the aesthetics of the entire street. Currently, the front garden is in poor condition, featuring broken steps leading to the entrance. It lacks proper maintenance, practicality, and fails to complement the overall character of the road.

The primary objective of this redesign is to improve both the garden's aesthetics and functionality, ensuring safety by rebuilding the main staircase. The existing staircase is not in a safe condition, with visible cracks in both the steps and the wall. The new design will follow the existing line but adjust the risers to meet the legal maximum of 20 cm, ensuring a safer and more user-friendly entrance.

Incorporating practical elements such as a bin storage area will align with the architectural style of the house and the surrounding street. This will create a cleaner, more organized, and visually appealing frontage.

The existing bay tree, which is currently overgrown, is proposed for removal. This will allow more natural light to reach the entrance and the interior of the house, enhancing both the garden and living space.

The hardscaping will feature durable porcelain tiles measuring 900x600mm. These tiles are chosen for their elegance, durability, and suitability to the overall design vision.

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Planning application document - Moodboard -Material



Beige porcelain tiles (900x600mm) have been selected for the hardscaping. Porcelain tiles are an excellent choice for paving a front garden, offering a tidy and elegant appearance without compromising the character of the house.

This material is highly durable and long-lasting, making it ideal for outdoor spaces. Its low-maintenance nature ensures it remains visually appealing over time, while also enhancing the overall practicality and aesthetic of the garden.

Bullnose steps

Bullnose steps are an excellent choice for several practical and aesthetic reasons:

Safety and Comfort:

The rounded edge of bullnose steps reduces sharp corners, making them safer to walk on and less prone to chipping or cracking over time. The smoother edge also provides a comfortable surface for areas where people may sit or rest.

Durability:

The curved edge minimizes wear and tear by reducing the risk of damage caused by foot traffic or accidental impacts.

Drainage:

The design helps prevent water from pooling on the steps, as the rounded edge encourages water to flow off the surface, reducing the risk of slippery conditions.

Elegant Appearance:

Bullnose steps add a soft, refined look to the hardscape, enhancing the overall elegance of the design. The rounded edges create a seamless transition between different surfaces.



Cedar bin park housing 2 bins:

The cedar bin park is a practical and visually appealing storage solution designed to house two bins. Made from high-quality cedar wood, this bin park combines durability with a natural aesthetic. Its rich, warm tones blend seamlessly into garden and outdoor spaces, enhancing the overall design.

The structure features a neutral roof, providing protection for the bins from rain and sunlight while maintaining a clean, understated look. The use of cedar wood and the sleek design ensures the bin park not only serves its purpose but also enhances the overall appearance of the outdoor space, aligning with the home's aesthetic and the surrounding environment.