



Heritage Statement

42 Harmond Street, Camden, NW1 8DP

Full Application

January 2026

1	INTRODUCTION	2
1.1	Aim of this Report	2
1.2	Location	2
1.3	Heritage Designations	2
1.4	Planning History.....	3
2	HISTORY AND DEVELOPMENT	4
2.1	Background of the Area.....	4
2.2	History and Development of the Subject Site	5
2.3	Photographs of the Subject Site.....	7
3	CHARACTERISATION OF THE AREA	9
4	SIGNIFICANCE ASSESSMENT	12
4.1	Introduction.....	12
4.2	Archaeological Interest	12
4.3	Architectural and Artistic Interest	12
4.4	Historic Interest.....	12
4.5	Contribution to the Conservation Area	13
5	PROPOSED WORKS & IMPACT	14
5.1	Previous consents.....	14
5.2	Heritage Impact Assessment.....	15
5.3	Impact Summary and Public Benefits.....	17
5.4	Heritage Policy Considerations	18
5.4.1	NPPF (2025)	18
5.4.2	Camden Local Plan (2017)	19
6	CONCLUSION	20
7	APPENDIX	21
7.1	Research Resources & Notes	21
7.2	Report Limitations & Confidentiality.....	21

1 INTRODUCTION

1.1 Aim of this Report

This report has been prepared by AndHeritage Ltd on behalf of the owner of 42 Harmond Street, and will refer to this property as “the site” or “the subject site”. This report has been produced to accompany a full application for planning permission for a modest single-storey rear extension.

The property is not statutorily listed, but it is within the Harmond Street Conservation Area, London Borough of Camden (LBC). The site has been noted in the Harmond Street Conservation Area Statement (2005) by Camden as “making a positive contribution” to the character of the Conservation Area, alongside its immediate neighbouring group, Nos. 36-40.

Architectural drawings, which detail the proposed scheme. These documents should be considered in conjunction with this report.

The document's content and level of detail align with the requirements outlined in the NPPF (February 2025), along with Historic England's 2019 guidance regarding Heritage Statements. The NPPF underscores the importance of submitting information at a level of detail that is tailored and proportionate to the site and the proposals to enable informed decision-making. Such detail should be commensurate with the significance of the heritage asset(s) involved and their potential impact (NPPF, 2025, paragraph 207).

This report has been prepared by Emily Anderson, BArch (Hons) MSc IHBC, architectural conservation consultant and director of AndHeritage Ltd. This assessment has been carried out as a desk-based study with a site inspection, carried out in December 2025, of the relevant parts of the building affected by the proposals.

1.2 Location

The site is a two-storey, end-of-terrace property located south of the Camden Centre for Learning (previously Chalcot School), approximately halfway along Harmond Street (east side). The closest station is Kentish Town West, located some 260m to the north of the site.



Figure 1: Satellite map of the area, site indicated in red (source: Google)

1.3 Heritage Designations

The subject site is within the Harmond Street Conservation Area, first designated in 2005. The site is not a listed building, but the council have identified it as “making a positive contribution” to the character of the conservation area (Harmond Street Conservation Area Statement 2005 by LBC). The site has not been included on the council's

more formal local list (LBC, January 2015). There are no statutorily listed buildings in the immediate vicinity of the site, although the other buildings within its terraced group have also been included as positive contributors.

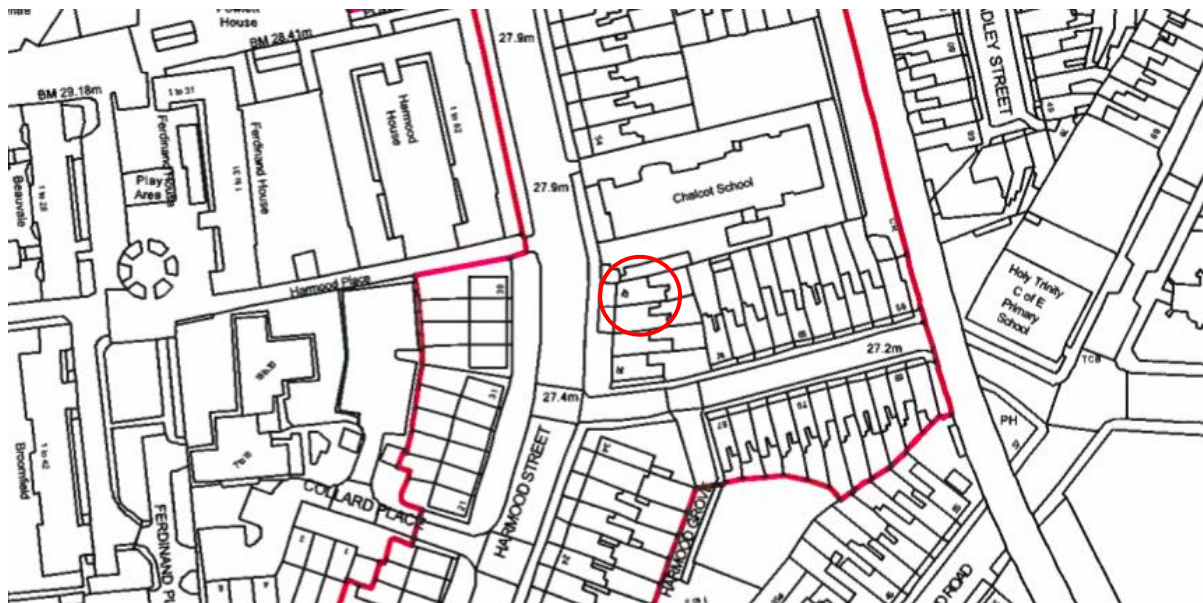


Figure 2: Extract of the Harmood Street Conservation Area map (LBC, 2005)

1.4 Planning History

A planning history search has been undertaken for the subject site. The following applications are considered relevant to this application:

Application reference	Description of Works	Decision Date	Status
2024/4768/P	Erection of single storey rear extension; raising ridge height of first floor rear closet wing; alterations to first floor rear window; installation roof lights to rear and closet wing roof slopes; installation of matching windows throughout.	15-07-2025	Approved
2023/1566/P	Erection of rear extensions at ground and first floors and rooflights to rear slope	13-09-2023	Approved
2021/4434/P	Rear extensions at ground and first floor level, insertion of rooflights to rear roofslope and closet wing.	12-04-2022	Refused

2 HISTORY AND DEVELOPMENT

The following desk-based research has been informed by the resources listed in the appendix of this report, in conjunction with professional observation, interpretation and knowledge.

2.1 Background of the Area

During the eighteenth century, Kentish Town became fashionable as a semi-rural retreat, attracting wealthy Londoners for its cleaner air and water compared with the increasingly congested city centre. The area's transformation into a dense urban neighbourhood began in the early to mid-nineteenth century, when former agricultural fields were laid out for suburban development. Although an ambitious scheme of spacious detached villas was first envisaged, the land was instead built up rapidly on a speculative basis between the 1840s and 1870s under a system of building leases. This produced predominantly continuous terraces of two- to four-storey houses, modest in scale and cottage-like in character, aimed at the growing working and middle-class population. By the late nineteenth century, the popularity of the district, combined with new railway connections to central London termini, resulted in significant overcrowding in parts of the wider Kentish Town area.

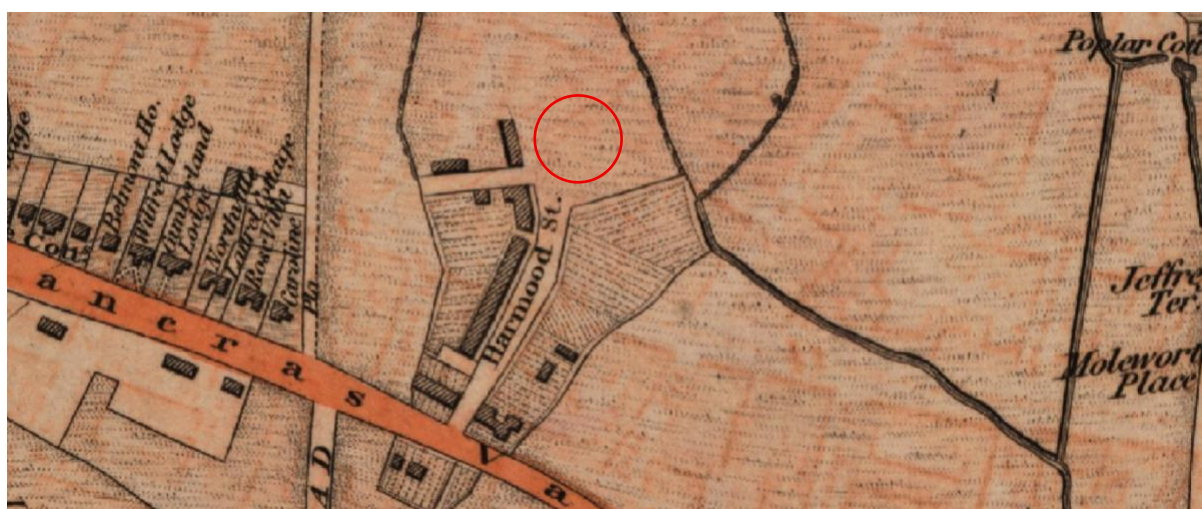


Figure 3: 1828 Map by C and J Greenwood, showing the southern end of Harmood Street in the early phases of construction (source: layersoflondon)

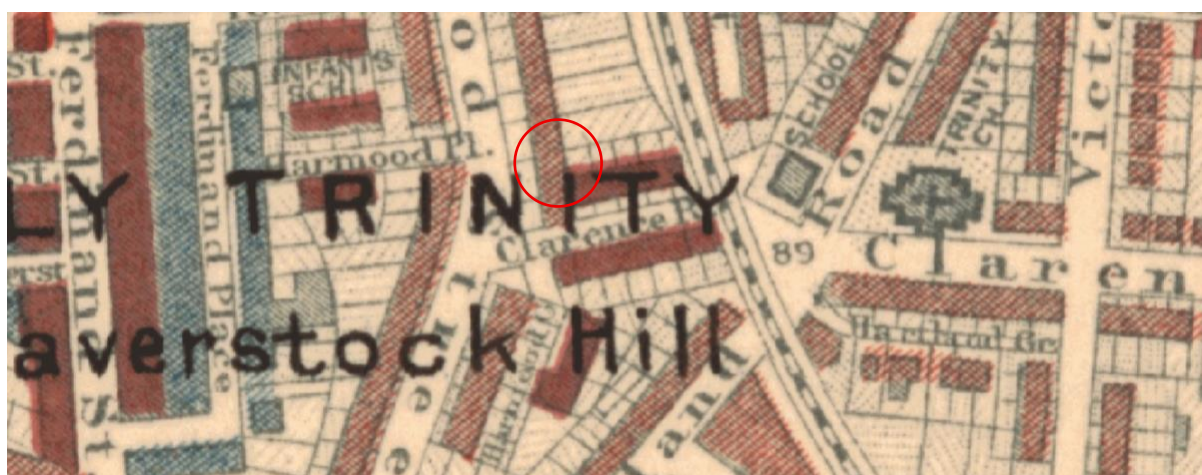


Figure 4: 1886-1903 "Poverty map" by Charles Booth, showing the area's social and economic distribution. This shows the area to have had a mix of working and middle-class households. Light Blue: "Poor", Pink: "Fairly comfortable. Good ordinary earnings", Red: "Middle class. Well-to-do".

2.2 History and Development of the Subject Site

Harmood Street forms the backbone of the Conservation Area and was among the earliest streets laid out in the area, established between the late 1820s and 1840s. It is characterised by its modest, domestic-scale terraces of “cottage-style” terraced houses in yellow London stock brick. Apart from a long-established bookshop at No. 38 (within the same terrace as the subject site) and the later Chalcot School, the street is predominantly residential.

Originally, the terraces ran more consistently along both sides of the street. Subsequent 20th century development, such as the construction of Chalcot School around 1900, housing schemes, such as Harmood house, and the Chalk Farm Omnibus Garage site opposite the subject site (redeveloped for housing in the 1990s) have fragmented the previously continuous terraces into smaller groups. Towards Prince of Wales Road, the eastern side of Harmood Street rises to three storeys (Nos. 102–108), while further south the houses, including the subject site, revert to the characteristic two-storey form.

The subject site originally formed part of a longer, uninterrupted terrace of modest two-storey dwellings with regular rear elevations, projecting closet wings, and small back gardens. The properties immediately to the north were demolished c. 1900 to accommodate the new school building, leaving the subject site and Nos. 36–40 visually and physically separated from the terrace further north (Nos. 54–64). Historic mapping indicates that the subject property received a small addition to the rear of the closet wing in the late nineteenth century, likely to provide a WC. By the time of the 1962 Ordnance Survey map, few additional changes were shown. However, a further single-storey infill extension was added between this map and the present day.

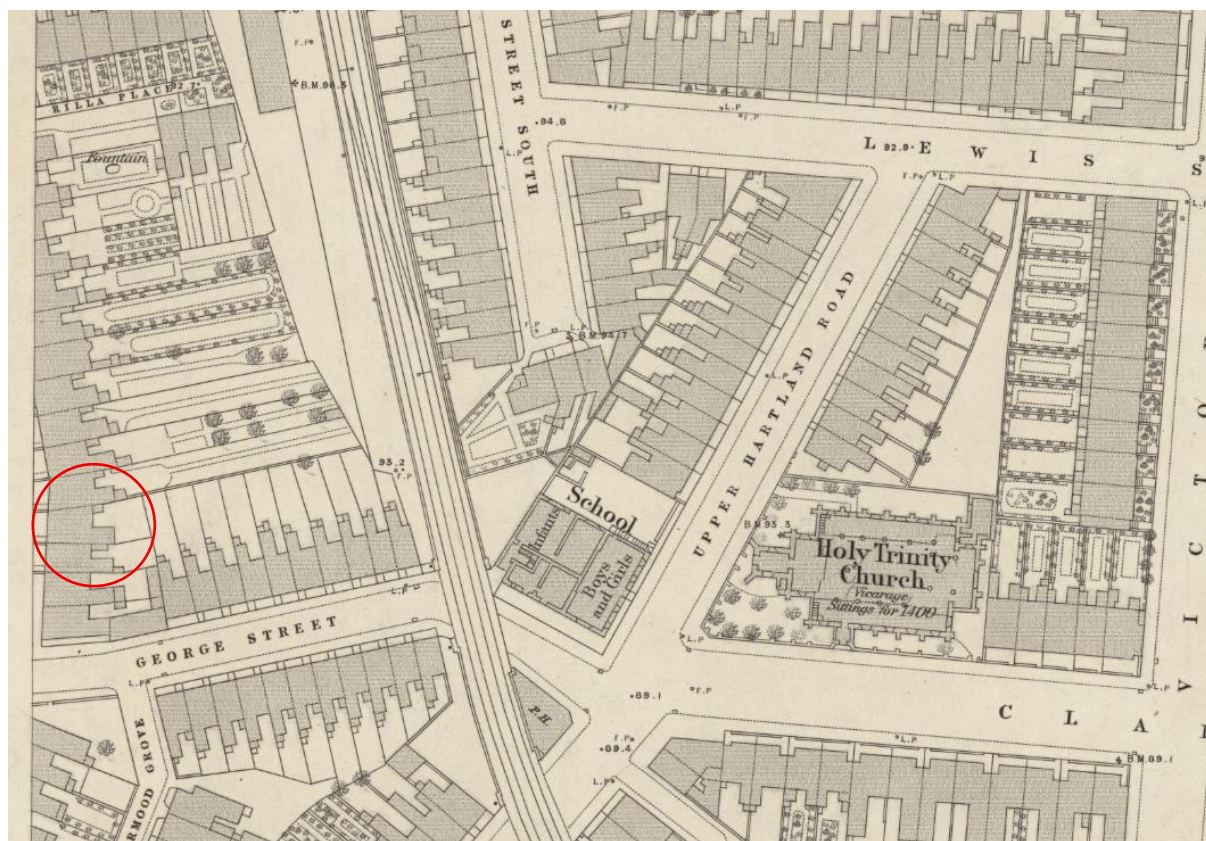


Figure 5: 1870 OS map (source: NLS. Reproduced with the permission of the National Library of Scotland)



Figure 6: 1893-6 OS map, showing that a small rear addition has been added to the site's closet wing projection (source: NLS. Reproduced with the permission of the National Library of Scotland)



Figure 7: 1913 OS map, showing the demolition of the terraced houses immediately north of the subject site in order to construct the school (source: NLS. Reproduced with the permission of the National Library of Scotland)



Figure 8: Harmood Street and the subject site in 1946, showing the opposite side of the street redeveloped to form the Chalk Farm Omnibus Depot (source: Britain from above)



Figure 9: 1962 OS map, showing a new building has been constructed within the school's curtilage along the boundary with the subject site, possibly storage sheds, bike stands or similar (source: NLS. Reproduced with the permission of the National Library of Scotland)

2.3 Photographs of the Subject Site

The following photographs provide a broad representation of the subject site, taken in December 2025.



Figure 10: Rear elevation. The original closet wing is on the left with a late 19th-century lean-to addition at the ground floor level. On the right is a single-storey infill with an existing terrace above. Decking boards have been used to create a railing.



Figure 11: Looking northwards towards the boundary with the school with wire high level fencing over brick wall



Figure 12: Looking southwards towards neighbouring No. 40



Figure 13: Rear garden, views towards the rear of buildings on Clarence Way

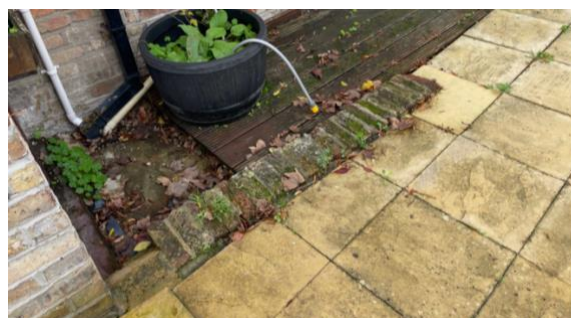


Figure 14: remnants of previous garden wall, indicating the line of the proposed rear extension

3 CHARACTERISATION OF THE AREA

The character of the area is set out in detail in Camden's Harmood Street Conservation Area Appraisal (2005) and so only the salient points will be highlighted in this report.

This part of Harmood Street has retained the modest, two-storey “cottage” terraces that define the traditional character of the wider Conservation Area, with yellow London stock brick, modest detailing and regular fenestration forming a cohesive historic streetscape. These qualities are reflected in the terraced group containing the subject site (Nos. 36-42), which the Conservation Area Statement identifies as a “*positive contributor*” to the area’s character and appearance.

However, the immediate townscape is more fragmented than the wider Conservation Area. Later 19th- and 20th-century interventions have interrupted what were originally long, continuous runs of mid-Victorian terraces. The construction of Chalcot School (c.1900) removed a section of the original east-side terrace, while early 20th-century Harmood House and the late 20th-century housing opposite (built following the demolition of the Chalk Farm Omnibus Depot) introduce larger-scale or more modern forms that contrast with the area’s fine historic grain. As a result, the subject site sits at a point where traditional character remains present but is tempered by later phases of 20th-century development.

The Conservation Area appraisal also notes that, while the surrounding historic terraces make a positive contribution, the entrance to Chalcot School is considered a *negative* feature that would benefit from enhancement. This likely refers to the uncharacterful modern railings and gates. The document also highlights that the bookshop at No. 38 would also benefit from enhancement.

In terms of visibility, the subject site’s principal elevation is clearly visible in the streetscape of Harmood Street; however, the side elevation—glimpsed through the townscape gap between the site and Chalcot School and seen above the boundary wall and high-level metal railings—is not visually prominent in public views. From Clarence Way, parts of the rear elevation, including the closet wing, can be perceived, but these views are distant and partly obscured by domestic planting within neighbouring gardens. Overall, the rear of the property does not feature strongly in the public realm.

Overall, this portion of Harmood Street exhibits a blend of intact mid-Victorian domestic architecture, of which the subject site and its neighbours are a representative surviving group, set within a streetscape that has undergone notable fragmentation.



Figure 15: The terraced group that contains the subject site (far left) and the book shop (No. 38)



Figure 16: The rear closet wings of the subject site's group seen from Clarence Way. No. 42 (the subject site) is furthest from this viewpoint and therefore the least visible.



Figure 17: The side elevation of the subject site seen through the gap on Harmood Street, partly obscured by the tall wire fencing



Figure 18: early 20th century Harmood House on the west side of the street



Figure 19: late 20th century housing opposite the site on the west side of the street



Figure 20: Chalcot School and the subject site and its immediate neighbours beyond



Figure 21: Nos. 54-64 Harmood Street (east side) originally part of the same terraced group as the subject site

4 SIGNIFICANCE ASSESSMENT

4.1 Introduction

The NPPF (February 2025) (Para 207) states that *“In determining applications local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should also be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on that significance.”* Significance is defined by Historic England as *“The sum of the cultural and natural heritage values of a place, often set out in a statement of significance”*.

Understanding the significance of the heritage asset(s) can be achieved by disaggregating the key aspects of that significance into archaeological, architectural/artistic and historic interest. This is in line with the latest guidance by Historic England: Statements of Heritage Significance: Analysing Significance in Heritage Assets (October 2019). For this assessment, the overall level of interest is described as “high”, “medium”, “low”, “negligible” or “none”.

4.2 Archaeological Interest

Historic mapping confirms that this part of Harmood Street remained undeveloped until the early-mid-19th century, when the present terrace was built as part of the wider speculative expansion in the area. There is no evidence of earlier use or occupation of the site. The area lies outside any identified Archaeological Priority Area, and subsequent phases of alterations to the rear and garden further reduced the likelihood of intact archaeological evidence.

Archaeological interest: Low

4.3 Architectural and Artistic Interest

The subject site is not statutorily or locally listed, but forms part of a surviving group of mid-19th-century two-storey “cottage-style” terraces identified by the Conservation Area Statement as positive contributors to the character and appearance of the Harmood Street Conservation Area. These properties exhibit characteristic features of their period and type: modest terraced dwellings built in yellow London stock brick with regular window openings and traditional rear closet wings, which contribute to the area’s fine urban grain.

While the subject site retains this underlying mid-Victorian form, its architectural integrity has been modestly eroded through incremental rear alterations, in particular the late 20th century single-storey infill. However, the principal elevation onto Harmood Street remains legible and coherent within the terrace, maintaining a recognisable rhythm that aligns with the special interest of the Conservation Area.

The wider context of the site is somewhat varied at this location, with the original long continuous terrace on the east side of the street fragmented, and 20th century development located directly opposite. Against this varied backdrop, the subject property’s architectural interest lies principally in its role as a surviving component of the historic terrace group, rather than in the individual detailing of the building itself.

Architectural and Artistic interest: Low-medium

4.4 Historic Interest

The subject site forms part of a mid-19th-century speculative development, representing a phase of rapid suburbanisation that replaced earlier agricultural land. The prevailing development pattern of modest two-storey terraces constructed under building leases illustrates the area’s shift from semi-rural retreat to dense urban neighbourhood. The fragmentation of the wider terraced group due to the Chalcot School development erodes the completeness of the wider group.

While the site has no known association with notable individuals or documented historic events, its historic interest is typological: it illustrates the everyday domestic architecture of working and middle-class households typical of the period.

Historic Interest: Low

4.5 Contribution to the Conservation Area

The Harmood Street Conservation Area derives its special interest from the consistent scale, materials, and rhythm of its modest mid-Victorian terraces, which create a fine, close-grained townscape. The Conservation Area Statement identifies the subject site and its immediate neighbours (Nos. 36–40) as positive contributors to this character, despite the fragmentation of the original terrace by later development.

In townscape terms, the subject site makes a clear contribution through its traditional form, materiality, and position within a surviving section of historic terrace. Its principal elevation is prominently visible in views along Harmood Street and helps reinforce the established street rhythm. Although the side elevation can be glimpsed through the gap beside Chalcot School, it is not visually prominent. Similarly, the side and rear of the property are barely perceptible in the filtered views from Clarence Way, where planting and boundary treatments significantly obscure it.

5 PROPOSED WORKS & IMPACT

Please refer to the proposed drawings for more details on the proposed works. The application proposals are summarised as follows:

- Demolish the small projecting single-storey extension to the rear of the closet wing (a bathroom) and removal of much of the ground floor level rear masonry and fenestration to facilitate a small single-storey rear extension
- The rear extension is proposed to project by approximately 1.3m (full width of the site), approximately to the line of the garden wall footings seen in Figure 14. It will be constructed in matching brickwork with a soldier course detail to the lintel. The extension will feature a modest brick parapet with stone coping and a flat roof behind.
- At the first-floor level, the existing external terrace will be slightly extended as a result of the ground-floor extension. The existing decking boards are to be removed and black-painted metal railings installed to the parapet. The proposed railings will prevent access to the new flat roof in front of the closet wing (left side) to preserve the privacy of the neighbours to the south. No change is proposed to the existing boundary treatment to the north to preserve existing views from the street and preserve the occupants' privacy from the school access and car park.
- The proposed rear extension would feature full-height fenestration in dark grey aluminium powder-coated frames.
- It is proposed to replace all windows (front and rear) with equivalent sash windows with timber frames and double glazing
- It is proposed to replace the existing French doors to the rear terrace to match (with double glazing).
- Modest improvements to garden areas providing hard and soft landscaping and a small shed in the rear garden (up to 1.8m high)

5.1 Previous consents

The site benefits from several recent consents for rear extensions and other alterations. The most recent consent (2024/4768/P) approved in July 2025, approved the following:

- Erection of single storey rear extension (larger than the current proposal)
- Raising the ridge height of first floor rear closet wing
- Alterations to first floor rear window
- Install rooflights to the rear and closet wing roof slopes
- Installation of matching windows throughout.
- Install a tall timber fence on the first-floor terrace northern boundary

The approved drawings from this scheme have been copied below for reference. It is considered that the current proposal represents a scaled-back scheme that omits several of the previously consented elements.

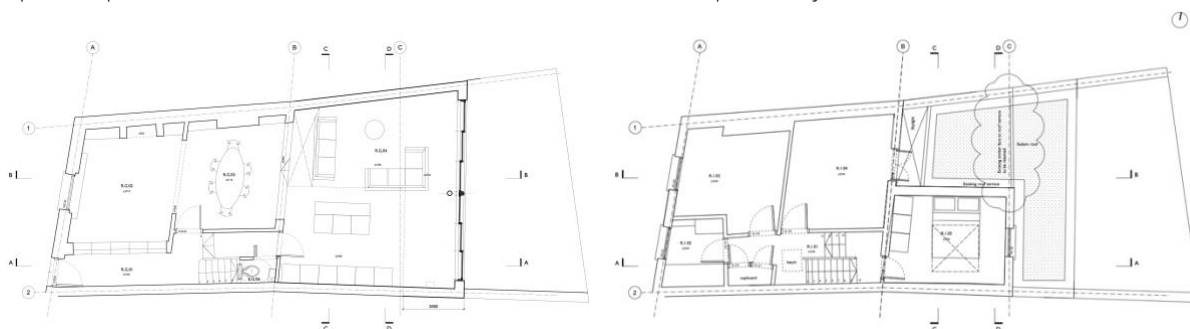


Figure 22: application 2024/4768/P consented ground and first floor plans



Figure 23: application 2024/4768/P consented elevations

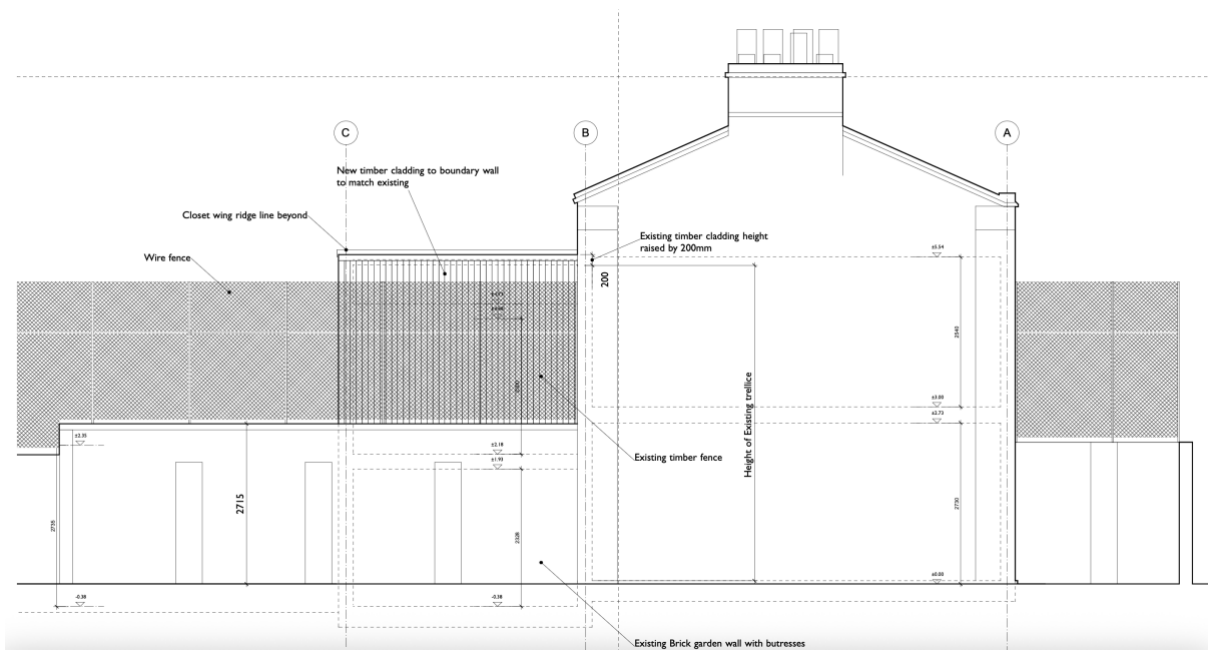


Figure 24: application 2024/4768/P consented party wall

5.2 Heritage Impact Assessment

This assessment has been undertaken with reference to the significance assessment, as set out in Section 4 of this report, and in accordance with the requirements of the NPPF (2025) and Historic England guidance. The subject site is an unlisted building identified as making a positive contribution to the Conservation Area, with its significance deriving principally from its modest mid-Victorian form, materiality, and role as a constituent part of a surviving section of terraced houses. Overall, the site's heritage significance in its own right is reasonably low, but its contribution to the Conservation Area is recognised, and the proposals seek to preserve this relationship.

Impact on the Harmood Street Conservation Area

The proposed works are mostly confined to the rear of the building and do not affect the principal elevation facing Harmood Street, which makes the greatest contribution to the public streetscape and Conservation Area. As established in Section 3, the rear of the property is only perceptible in oblique and heavily filtered views from Clarence Way, while part of the side elevation is glimpsed through the gap between the site and Chalcot School (albeit somewhat obscured by wire fencing) and does not feature prominently in public views. As such, the areas affected by the proposals are of limited public visibility and low townscape sensitivity.

The proposed single-storey rear extension is modest in scale, projecting approximately 1.3m and aligning with remnants of a former garden wall's footings. The extension is materially and architecturally subordinate to the host building and will read as a discreet addition to the rear, preserving the established hierarchy of the original terrace form. Importantly, the current proposal represents a clear reduction in scale when compared with the consented scheme approved in July 2025 (application ref. 2024/4768/P), which allowed for a deeper rear extension, raising of the rear closet wing roof ridge, and additional roof interventions. The omission of these previously approved elements results in a scheme that more closely reflects the historic proportions of the rear elevation and better preserves the character of the terraced group.

The proposed use of matching brickwork with traditional detailing, including a soldier course lintel and brick parapet with stone coping, ensures that the extension integrates successfully with the host building and surrounding historic fabric. While contemporary aluminium-framed glazing is proposed at the ground-floor level, this approach accords with the previously approved scheme and is limited to a discreet rear location, where it does not impact the Conservation Area's character.

In contrast to the previously approved tall timber fence along the northern boundary at the first floor level, the current scheme seeks to retain the existing boundary treatment in this location. Although only glimpsed obliquely through the gap beside Chalcot School, the retention of the existing boundary will have a neutral impact on public views within the conservation area whilst protecting the privacy of occupants. Whilst not publicly visible, the replacement of the first-floor terrace balustrade (poor quality decking boards) with a more traditional black painted metal balustrade is considered to be an appropriate enhancement in quality and character.

Given that the proposed scheme no longer seeks to raise the height of the closet wing and the smaller ground floor extension, it is not considered that the proposed changes would be visible in the oblique views from Clarence Way.

The scheme also seeks to make modest improvements to the front and rear garden, providing an appropriate mix of hard and soft landscaping with appropriate domestic planting. A small shed is proposed to the rear, which will be no more than 1.8m tall. The proposed height and massing are considered to be reasonable and will not impact the amenity of neighbours. The changes to the rear garden will not be publicly visible and so will have a neutral impact on the character of the conservation area. The improvements to the front garden, whilst modest and in keeping, will improve the quality of the site's frontage and will offer a minor enhancement to the site's overall character and appearance, thus benefitting the wider conservation area.

Overall, the proposals preserve the character and appearance of the Harmood Street Conservation Area and, by virtue of their reduced scale and improved material treatment relative to the extant consent, represent a more conservative and sensitive form of development.

Impact on the Subject Site as a Positive Contributor

As set out in Section 4.5, the subject site's positive contribution to the Conservation Area derives principally from its legible mid-Victorian form and its coherent relationship with Nos. 36–40 Harmood Street. The current proposals do not alter the front elevation or disrupt this relationship.

The demolition of the small, utilitarian single-storey rear projection and its replacement with a well-detailed modest extension will result in a more ordered and cohesive rear elevation. The principle of this work is well established by the most recent consent, and it is noted that the rear elevation has already been subject to modern alteration and extension. The reduced scale of the proposed ground floor extension represents a modest enhancement to the building's architectural legibility when compared with the larger previous consent.

The removal of the existing decking boards used as an ad-hoc balustrade to the rear terrace further enhances the character of the building. Their replacement with traditional black painted metal railings provides an appropriate means of protection from falling, which is a more traditional detail with improved visual permeability and material quality. This also resolves an ambiguity left by the most recent consent, which appeared to retain access to the terrace but did not specify any railings. Overall, this change will improve the traditional domestic character of the rear elevation and ensure the safety of the occupiers. This intervention is both functional and visually sympathetic, enhancing the building's character and appearance.

The replacement of fenestration on a like-for-like basis using timber frames and double glazing will preserve the established fenestration pattern and detailing of the building, ensuring that incremental changes do not cumulatively erode its historic character. These works, alongside wider thermal upgrades as part of the proposed extension, will improve the building's performance and long-term viability while remaining compatible with its significance. Furthermore, omitting the previously consented rooflights will allow for improved internal roof insulation and better heat retention.

Overall Heritage Impact

When assessed against the baseline of the most recent consent (application ref. 2024/4768/P), the current proposals constitute a materially reduced and more carefully resolved scheme. They retain a larger proportion of the rear garden, avoid previously approved increases in built form and closet wing height, omit modern rooflights, and introduce higher-quality materials and detailing. As a result, the proposals not only avoid harm to the significance of the Conservation Area and the subject site, but also subtly enhance their character and appearance.

Accordingly, the proposals are considered to result in no harm to the significance of the Harmood Street Conservation Area or to the contribution made by the subject site as an identified positive contributor, and represent a clear improvement on the extant consented fallback position.

5.3 Impact Summary and Public Benefits

The assessment above demonstrates that the proposed works would result in no harm to the significance of the Harmood Street Conservation Area or to the contribution made by the subject site as an identified positive contributor. The proposals are confined to areas of low sensitivity and limited public visibility. They preserve the principal elevation and established terrace relationship.

When assessed against the fallback position established by the most recent consent (application ref. 2024/4768/P), the current scheme represents a clear reduction in scale. The proposals omit previously approved increases in built form and closet height, retain a larger proportion of the rear garden, avoid roof-level alterations, and introduce more traditional and contextually appropriate boundary treatments and railings. As such, the scheme is considered to have an overall positive effect on the character and appearance of the site and conservation area.

As no harm to significance has been identified, Paragraphs 213 and 215 of the NPPF (2025) do not require a public benefits exercise. Nevertheless, the proposals incorporate several positive attributes, including:

- A more appropriately sized rear extension that retains a greater proportion of the rear garden;
- Enhanced safety and appearance through the replacement of ad-hoc decking boards with traditional black painted metal railings; and
- Thermal and fabric upgrades, including timber double-glazed windows and general improved insulation, supporting the building's long-term viable use and sustainability.
- Modest improvements to hard and soft landscaping to both the front and rear gardens.

Overall, the proposals represent a reduced scheme which preserves the significance of the Harmood Street Conservation Area, maintains and subtly enhances the contribution of the subject site, and improves upon the extant consented fallback position.

5.4 Heritage Policy Considerations

The assessment in this document was carried out in consideration of up-to-date national and local policy, including:

- Planning (Listed Buildings and Conservation Areas) Act 1990
- National Planning Policy Framework (NPPF) (February 2025)
- National Planning Policy Guidance (PPG) "The Historic Environment" (2019)
- Conservation principles, policies and guidance for the sustainable management of the historic environment, English Heritage, April 2008
- Good Practice Advice in Planning, Historic England (GPAs): Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment (March 2015) and Planning Note 3: The Setting of Heritage Assets (December 2017)
- Historic England Advice Notes (HEANs) Note 1 - Conservation Area Appraisal, Designation and Management (February 2019) and Note 12 - Statements of Heritage Significance: Analysing Significance in Heritage Assets (October 2019)
- The London Plan (March 2021)
- Camden Local Plan (2017)
- Camden Planning Guidance: Design (2021)

Whilst all the above policies and guidance have been taken into consideration during the process of the design development, the most relevant policies have been quoted below. Responses provide further explanation as to how the proposed scheme aligns with the policy requirements.

5.4.1 NPPF (2025)

Paragraph 207: "In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance."

Paragraph 212: "When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance."

Paragraph 213: "Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification."

Paragraph 215: "Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use."

Paragraph 219: Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

Response: The accompanying Heritage Statement provides a proportionate assessment of the significance of the Harmood Street Conservation Area and of the subject site as an unlisted building identified as a positive contributor. The assessment is based on documentary research, site inspection and an understanding of the site's historical development and townscape context. The proposals are confined to the rear of the building, in areas of limited public visibility and low heritage sensitivity, and do not affect the principal elevation or the building's established contribution to the streetscape. The proposals result in no harm to the significance of the Conservation Area. They represent a reduced and more sensitive scheme when compared with the most recent consent approved in July 2025, omitting previously approved increases in scale and closet wing height and introducing more traditional and contextually appropriate detailing. Overall, the scheme is considered to have a positive effect.

5.4.2 Camden Local Plan (2017)

D1 – Design: This policy emphasises the importance of high-quality design in development. The relevant key intentions include:

- Respecting local character and preserving heritage assets.
- Using high-quality, durable materials that complement local character.
- Integrates well with the surrounding streets and contributes positively to the street frontage

D2 – Heritage: This policy focuses on preserving and enhancing Camden’s heritage assets while balancing development needs. Relevant key principles include:

- Protecting designated heritage assets, assessing proposals that cause less than substantial harm by weighing public benefits against the impact.
- Ensuring new development preserves or enhances a Conservation Area's character.
- Resist demolition of an unlisted building that makes a positive contribution to the Conservation Area
- Protecting trees and garden spaces that add to the Conservation Area's character.
- Preventing harmful alterations.
- Protecting the setting of listed buildings from harmful development.

Response: The proposals accord with Policies D1 (Design) and D2 (Heritage) of the Camden Local Plan (2017). The scheme responds positively to local character by retaining the historic front elevation, respecting the scale and form of the original terrace, and using high-quality materials and detailing appropriate to the Conservation Area. In accordance with Policy D2, the subject site’s role as a positive contributor to the Harmood Street Conservation Area has been carefully considered. The proposals avoid demolition or harmful alteration, focus intervention on areas of low significance, and preserve the building’s contribution to the wider terrace and townscape. The reduced scale of development compared with the extant consent, together with the omission of roof-level alterations and the introduction of more characterful balustrade to the first floor terrace, ensures that the character and appearance of the Conservation Area are preserved.

6 CONCLUSION

Historic England's Conservation Principles and the NPPF (2025) define conservation as "managing change". Buildings, whether designated or undesignated, are dynamic environments that have been subject to change and will continue to evolve in order to remain sustainable, welcoming, and functional places. The subject site and the Conservation Area are no exception.

The proposals have been informed by a clear understanding of the subject site's development, significance, and townscape context, as well as its contribution to a surviving section of mid-Victorian terrace identified as a positive contributor to the Harmood Street Conservation Area. The Heritage Statement has demonstrated that the site's principal significance lies in its modest historic form and its relationship with the wider terrace, both of which are preserved by the proposals.

The proposed works are confined to the rear of the building, in areas of limited public visibility and low heritage sensitivity, and do not affect the principal elevation facing Harmood Street. The scale, form and detailing of the modest single-storey rear extension are subordinate to the host building and respect the established hierarchy of the terrace. The use of matching brickwork and restrained traditional detailing ensures that the proposals integrate successfully with the existing historic fabric. When assessed against the fallback position established by the most recent consent (2024/4768/P), the current scheme represents a materially reduced and more carefully resolved proposal.

The assessment concludes that the proposals would result in no harm to the significance of the Harmood Street Conservation Area or to the contribution made by the subject site as a positive contributor. In several respects, the scheme represents a modest enhancement to the building's character and appearance, particularly through improved boundary and railing treatments when compared with the existing situation and the consented scheme.

Overall, the proposals represent a conservation-led approach, consistent with national and local heritage policy. They preserve the character and appearance of the Harmood Street Conservation Area, improve upon the extant consented fallback position, and support the building's long-term sustainable use, thereby constituting an appropriate and well-justified form of development within a Conservation Area.

7 APPENDIX

7.1 Research Resources & Notes

In addition to the relevant planning guidance and policy documents listed in this report, the following research resources have been used to inform various sections on History and Development, and thus inform the assessment of Significance:

- Layers of London Mapping [<https://layersoflondon.humap.site>]
- National Library of Scotland Mapping
- MOLA Archaeology Map [<https://www.mola.org.uk>]
- Harmood Street Conservation Area Statement 2005 by LBC
- Survey of London: Volume 19, the Parish of St Pancras Part 2: Old St Pancras and Kentish Town, ed. Percy Lovell, William McB. Marcham (London, 1938), British History Online <https://www.british-history.ac.uk/survey-london/vol19/pt2/pp1-31>

7.2 Report Limitations & Confidentiality

This report has been conducted primarily as a desk-based study and has utilised secondary information derived from a variety of online sources, only some of which have been directly examined for the purpose of this assessment. The assumption is made that this data, as well as that derived from secondary sources, is reasonably accurate.

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