

# 32 Well Walk, Camden, NW3 1BX

## Design and Access Statement for The London Borough of Camden

**March 2025**

**Prepared by:**

Roberts and Treguer Ltd



**For:**

London Borough of Camden



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# DESIGN TEAM

## ARCHITECT

**Roberts & Treguer Ltd.**  
88-94 Wentworth Street  
London, E1 7SA  
T +44 (0) 203 006 2282



## HERITAGE CONSULTANTS

**Donald Insall Associates**  
12 Devonshire St  
London W1G 7AB  
T +44 (0) 20 7245 9888



## STRUCTURE CONSULTANT

**Balance Structures Ltd**  
2nd Floor Gadd House  
Arcadia Avenue  
London, N3 2JU



## ACOUSTICS CONSULTANTS

**Anderson Acoustics**  
9 Baden Place Crosby Row  
London, SE1 1YW  
T +44 (0) 20 3176 7909



## M&E CONSULTANTS

**John Bathurst Ltd**  
2 Pigeon Lane Herne Bay  
Kent CT6 7EH  
T +44 7788 718745

# 32 Well Walk

## 1 Introduction



Source: [www.earth.google.com](http://www.earth.google.com)

### EXECUTIVE SUMMARY

This Planning Application prepared by Roberts & Treguer Ltd. for The Borough of Camden, illustrates our further proposals for the refurbishment of No.32 Well Walk.

The property forms part of a row of terrace houses constructed in the 1790s, during the Georgian Era, having several architectural features characteristic of the period. Situated within the Hampstead Conservation Area, these terraces hold a Grade II group listing. Our previous approved application (2024/2967/P; 2024/3015/L) aims to undo the historically inappropriate internal alterations and reconfigure the lower ground floor. With this application, we seek to further restore one of the original Georgian features of the property, its front vault.

The proposed main works include:

#### **Restoring Historical Vault:**

The dwelling has undergone extensive internal modifications, and has lost some of its original features in the process. While carrying out structural investigations of the lower ground floor, we have discovered indications of two surviving vaults under the front garden, a classical Georgian feature in this type of property. As we are planning to carry out works in the area as part of our previously approved scheme, our client has agreed that incorporating such a feature into the refurbishment would greatly enhance its historical significance.

By revealing and sensitively restoring the vault, we will connect its history to the current and future inhabitants of No. 32 Well Walk.

We look forward to discussing our proposals with you, further restoring this building and bringing it back to life.

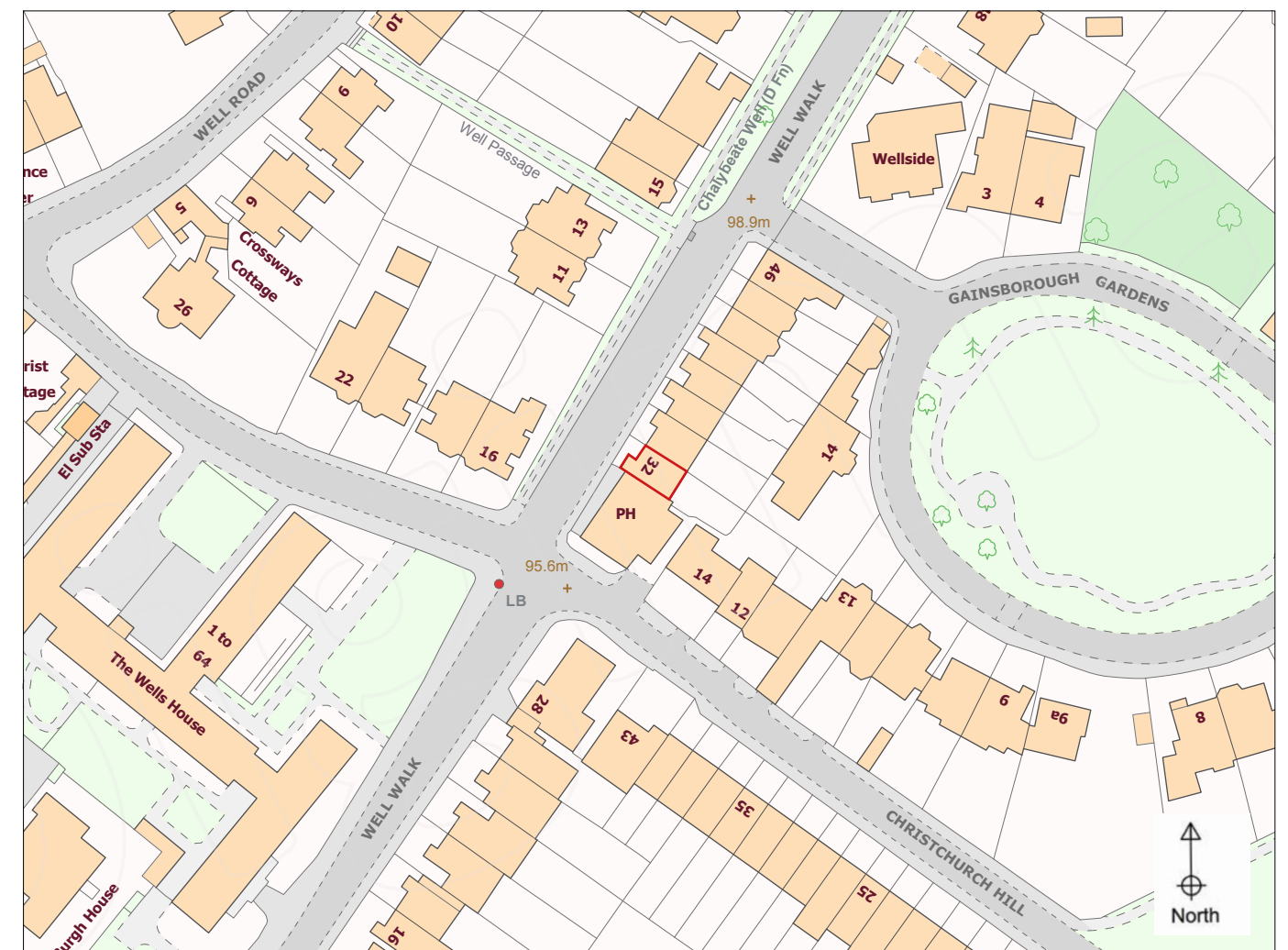
Gareth Roberts.

A handwritten signature in black ink, appearing to read 'Gareth Roberts'.

# SITE LOCATION



Aerial view of the site. Source: Digimaps



Site Plan. Source: Digimaps

Well Walk is a street in Hampstead, located in the London Borough of Camden. It runs southwestwards from Hampstead Heath to Flask Walk which then continues on towards the centre of Hampstead Village around the Hampstead tube station. It takes its name from the historic Hampstead Wells.

Many of the buildings in the street are now Grade II listed mostly dating from the nineteenth century although some of them go back to the eighteenth such as no 32 and The Wells Tavern, being the Grade II listed public house at no 30.



View A from Well Walk. Source: Google Street View



View B from Well Walk. Source: Google Street View



View C. Aerial view from Gainsborough Gardens. Source: Google Earth

SITE PHOTOGRAPHS



View from Well Walk. Source: Roberts & Treguer Ltd.



View from the garden. Source: Roberts & Treguer Ltd.



Photo from the basement. Source: Roberts & Treguer Ltd.



Photo of the garden. Source: Roberts & Treguer Ltd.



View from the kitchen. Source: Roberts & Treguer Ltd.



View of staircase. Source: Roberts & Treguer Ltd.



View of the ground floor. Source: Roberts & Treguer Ltd.



View of Rear Elevation. Source: Roberts & Treguer Ltd.



Front lightwell metal staircase. Source: Roberts & Treguer Ltd.

# 2 ARCHITECTURAL AND HISTORICAL APPRAISAL

## HAMPSTEAD CONSERVATION AREA APPRAISAL

### CHARACTER OF THE CONSERVATION AREA

Well Road and Well Walk elegantly link the village's winding streets to Hampstead Heath. Christchurch Hill features a broad roadway flanked by Wells House buildings and, at the junction with Well Walk, charming semi-detached properties from the 1880s (Nos. 16-22). These three-storey dwellings boast semi-basements, raised front entrances, and double gables, set behind front gardens with a distinctive curved brick boundary wall. Nearby, No. 26 is a listed early 19th-century detached house, though its perimeter is demarcated by a modest featherboard fence. Across the street, a majestic horse chestnut tree graces Well Road.

Well Road is divided into two sections. Between Christchurch Hill and East Heath Road, it's a tranquil residential street lined with mostly 1880s red brick houses (Nos. 6-15), adorned with mature street trees. At the intersection with Christchurch Hill, Providence Corner and Cannon Cottage, two early 18th-century cottages, exude Hampstead's historical charm.



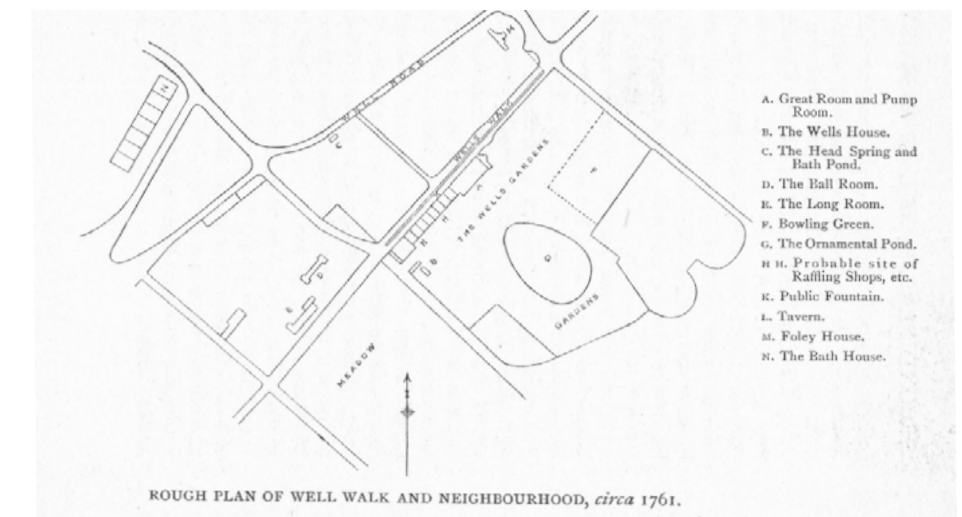
The Old Well Walk, Hamstead, 1750  
Source: [www.british-history.ac.uk](http://www.british-history.ac.uk)

At the western end, a series of connected open spaces unfolds, including a triangular area, the garden linked to Wells House, and the distinguished front terrace of Burgh House, a Grade I listed building dating to 1703. Designed by Gertrude Jekyll in 1908, the terrace exudes timeless charm. Adjacent stands Wells House, a three/four-story block of flats by CH James in 1948, designed to complement Burgh House with a Neo-Georgian facade, earning the RIBA London Architecture Bronze Medal in 1949. Facing the open space on the southeast side are red brick residential terraces (Nos. 2-14) from the 1880s with stepped gables. Further east, Nos. 16-26 comprise semi-detached villas from the 1860s, set back from the road in gault brick. No. 28, though potentially later, fits harmoniously in scale and detail, despite painted brickwork detracting from its appearance.

East of Christchurch Hill the road widens and there is a distinct raised pavement on the North-West side set above the street with grass on either side of the paving and has over-burnt stock brick retaining wall. A line of mature trees grows in the grass verge and the views towards the Heath increase the rural effect. The Wells Tavern (1849 listed) commands the intersection of Well Walk and Christchurch Hill, followed on the south-east side by Nos.32-40, a terrace of brown brick early 19th century houses (listed) with grey brick porches and original cast-iron railings and gates on low brick walls. No.40 use to be Constables main home. Nos.42-44 is a later 19th century house in red brick with a canted bay window covering three floors and the semi-basement. No.46 (listed) is an red brick early 18th century building, with a delicate Gothic first floor oriel window and porch added in the late 18th century. The three detached houses after Gainsborough Gardens, the grass verge and broad pavement on the north-west side make the street airy and verdant. The road is terminated by Foley House and Klippan House which was designed by Ewan Christian in 1881.



- Listed Buildings
- Buildings which make a positive contribution



Hampstead Wells, 1907  
Source : George Potter

# HISTORIC ENGLAND LISTING STATEMENT



32 and 34 Well Walk  
Source : OnTheMarket

## NUMBERS 32 AND 34 AND ATTACHED RAILINGS, 32 AND 34, WELL WALK

### OVERVIEW

Heritage Category: Listed Building

Grade: II

List Entry Number: 1379167

Date first listed: 13-May-1974

Statutory Address: NUMBERS 32 AND 34 AND ATTACHED RAILINGS, 32 AND 34, WELL WALK

District: London Borough of Camden

National Grid Reference: TQ 26712 86017

### DETAILS

Pair of terraced houses. Early/mid C18 with late C19 projecting porches. Brown brick; grey brick porches. 3 storeys and semi-basements. 2 windows each and central blind window. Round-arched doorways with keystones, fanlights and panelled doors. Gauged red brick flat arches to slightly recessed sashes with exposed boxing. Parapet.

INTERIORS: not inspected.

SUBSIDIARY FEATURES: attached cast-iron railings with bud finials on low brick wall with stone capped gate piers and cast-iron gates.

HISTORICAL NOTE: There has been no notable residents at no.32 Well Walk, nor any historical events have taken place within this building.

Legacy System number: 478534

Legacy System: LBS

### LEGAL

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

# NEARBY LOCAL LISTED BUILDINGS

1. Wells Tavern (1379166) / Grade: II

2. Numbers 32 and 34 and attached railings (1379167) / Grade: II

3. Numbers 36 and 38 and attached railings, walls and gates (1379168) / Grade: II

4. Numbers 40 and attached railings, walls and gates (1379169) / Grade: II\*

5. Number 46 and attached railings and wall (1379170) / Grade: II\*

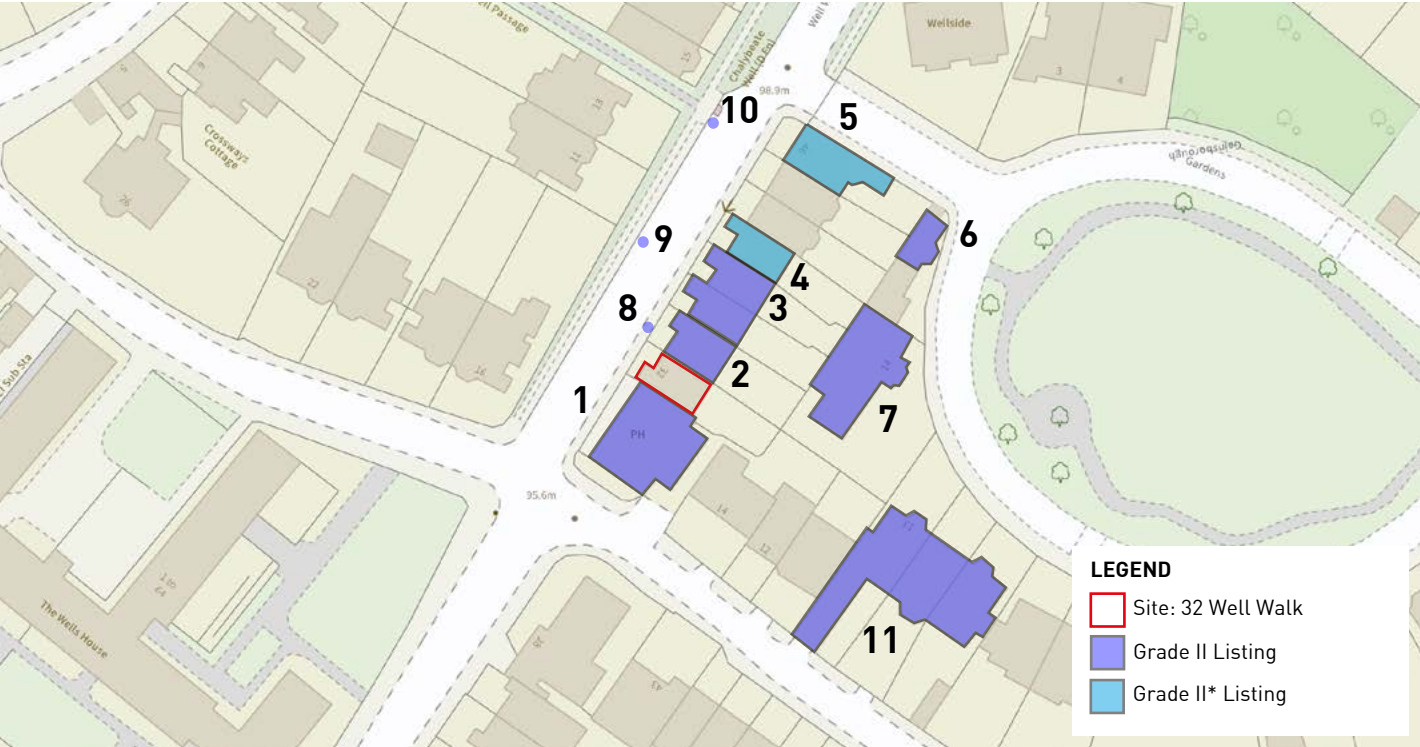
6. The Lodge (1392567) / Grade: II
7. 14, Gainsborough (1096077) / Grade: II

8. Four Lamp Posts (1379174) / Grade ii: II / Listed Building

9. Railings to footpath on North West Side (1379175) / Grade: II / Listed Building

10. Chalybeate Well and Drinking Fountain Flanked by Steps (1379173) / Grade: II / Listed Building

11. 11, 12, 14, Gainsborough Gardens, Camden (1417880) / Grade: II / Listed



Historic England Key Map  
Source : [www.historicengland.org.uk](http://www.historicengland.org.uk)



1. The Wells Tavern  
Source : [Historic England](#)



2. 32 and 34 and attached railings  
Source : [OnTheMarket](#)



3. Number 36 and 38 and attached railings, walls and gates  
Source : [Historic England](#)



5. Number 46 and Attached Railings and Wall  
Source : [Historic England](#)



4. Number 40  
Source : [Historic England](#)



7. 14, Gainsborough Gardens  
Source : [Historic England](#)



10. Chalybeate Well and Drinking Fountain  
Source : [Historic England](#)



6. The Lodge  
Source : [Historic England](#)



8. Four Lamp Posts  
Source : [Historic England](#)

# HISTORICAL BACKGROUND OF AREA

## EARLY HISTORY IN THE 1700s

- Hampstead is situated on London's Northern Heights. Its natural advantages attracted early settlers, shaping its development with its topography, the Heath, clean air and water. Romans may have constructed a road across the Heath to St Albans, evidence is lacking. Its name, derived from Anglo-Saxon 'Hamstede', reflects its origins as a homestead, noted in the Domesday Book as a small farm. Over time, it became a medieval manor, successively owned by the Knights Templar and the Knights Hospitaller.



The Old Well Walk, Hampstead, 1750  
Source : Gunnersbury Arts Ltd

- In the 17th century, the Gainsborough family donated land to the poor and established The Wells Trust to develop chalybeate springs into a spa. The spa's facilities, including Pump and Assembly Rooms, spurred development, with villas and boarding houses erected to accommodate visitors. Despite a brief revival in the 1730s, the spa eventually declined. Today, remnants of this era remain, with surviving 1700s houses and cottages along Flask Walk bearing witness to Hampstead's storied past.



Chalybeate Well, 2016  
Source: A London Inheritance

## HAMPSTEAD IN THE 1800s

- By the early 19th century, Hampstead saw the construction of numerous large houses in and around the village center, alongside working-class cottages. Neighborhoods like North End and Vale of Health emerged, with areas like Frognal and New End becoming integrated into Hampstead Village. While many large houses still stand today, most poorer areas have been replaced.
- In 1827, Maryon Wilson sought to develop his lands and a section of the Heath, sparking a campaign to protect the commons. Despite efforts, development was prevented, but sand extraction altered the landscape. In 1866, Sir Thomas attempted to build a house near Whitestone Pond, leading to a legal battle resolved in 1869 upon his death. His heir, Sir John, relinquished manorial rights in 1871, freeing Hampstead from development restrictions. The Heath was preserved, with the Heath and Hampstead Society playing a key role.



John Rocque's Map of Hampstead, 1746.  
Source: Scotland's National Archive

- The village underwent urban renewal in 1888, demolishing slums and improving infrastructure. Victorian municipal buildings were erected around New End, including the enlargement of the parish workhouse and the construction of artisans' flats and public baths. New End School was also built in 1905.



Militia Inspection, Well Walk, 1855  
Source: Antique Maps and Prints

## HAMPSTEAD IN THE 1900s

- More prestigious houses continued to be built on the western slopes in a variety of inventive arts-and crafts styles, gradually becoming more conventionally neo-Georgian as the 20th century progressed. A number of striking modern houses were built in the 1930s around Frognal and in Willow Road that defied convention, and the Hampstead tradition of avant-garde architecture established in the 1870s, continued through the 20th century.



The Old Well Walk, Hampstead, 1750  
Source : [www.british-history.ac.uk](http://www.british-history.ac.uk)

- The Wells Tavern, located on Well Walk has a rich history dating back several centuries. It is believed to have been established in the early 19th century, previously named the Green Man. After the Second World War both private and public housing attempted to fit sensitively into Hampstead. During the 1960's the Borough of Camden's housing programme affected the periphery, at Dunboyne Road, Alexandra Road and Branch Hill. In the 1970's the south of the village became a favoured location for famous architect's houses, and on a smaller scale in-fill development occurred within the village.



The Wells Tavern, 2006  
Source: Paul Winch-Furness

## PRESENT DAY

- In the present day, Hampstead retains much of its historic charm and affluent character. It is known for its picturesque streets, elegant Georgian and Victorian architecture, and vast green spaces, particularly Hampstead Heath.

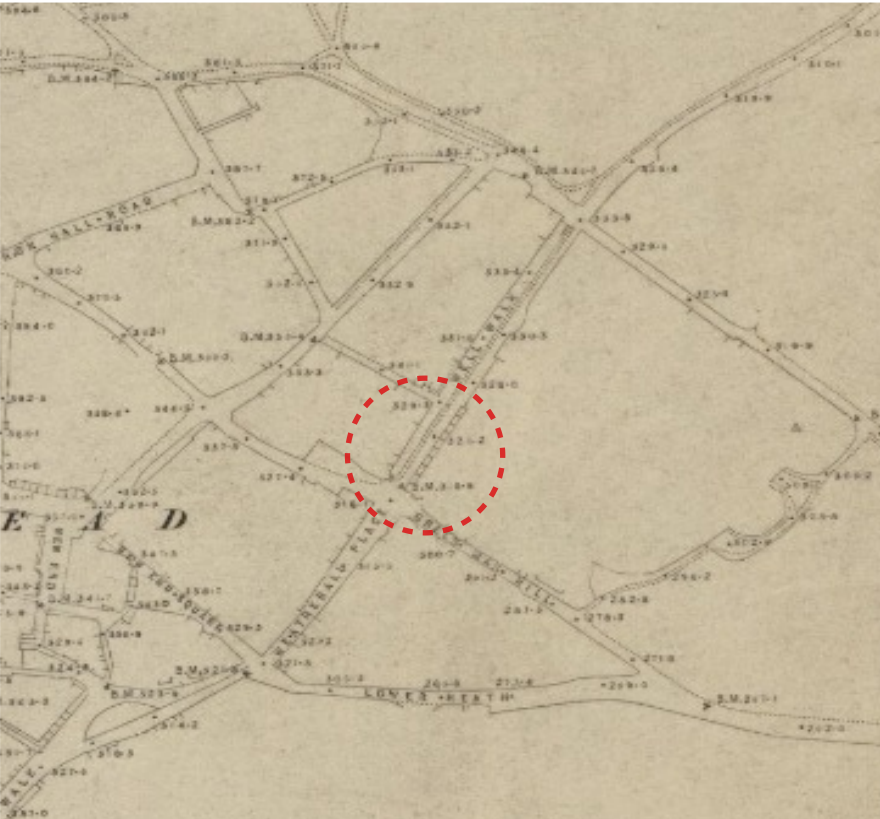


32 Well Walk Archive Photo, 1943  
Source : London Picture Archive

- The area is home to a mix of affluent residents, artists, and intellectuals, contributing to its diverse and vibrant community. Hampstead Village offers independent shops, cafes, and restaurants, while nearby areas like Belsize Park and West Hampstead provide further amenities and cultural attractions. The Heath remains a focal point for outdoor activities, with expansive grassy areas, woodlands, and ponds providing opportunities for walking, jogging, picnicking, and swimming. Despite its proximity to central London, Hampstead maintains a sense of tranquility and exclusivity, making it a desirable place to live and visit.

HISTORIC MAP PROGRESSION

1851 - London and its Environs



Source: Scotland's National Archives

1874. London (First Editions c1850s) VII



Source: Scotland's National Archives

1879. Middlesex Sheet XXII



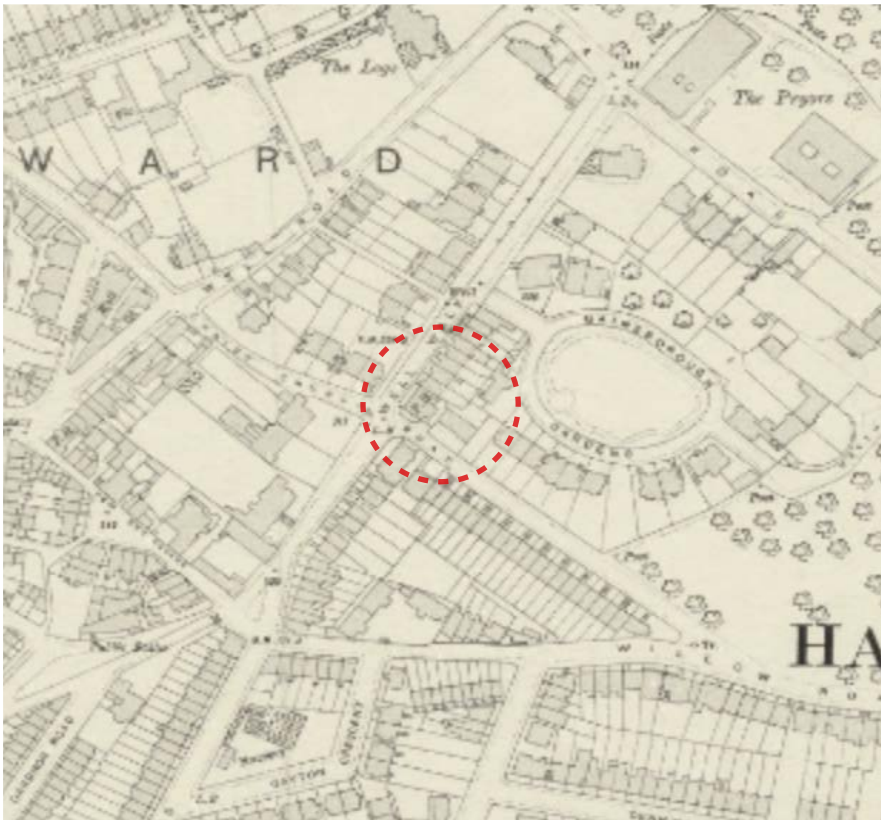
Source: The British Library

1898. C. Booth



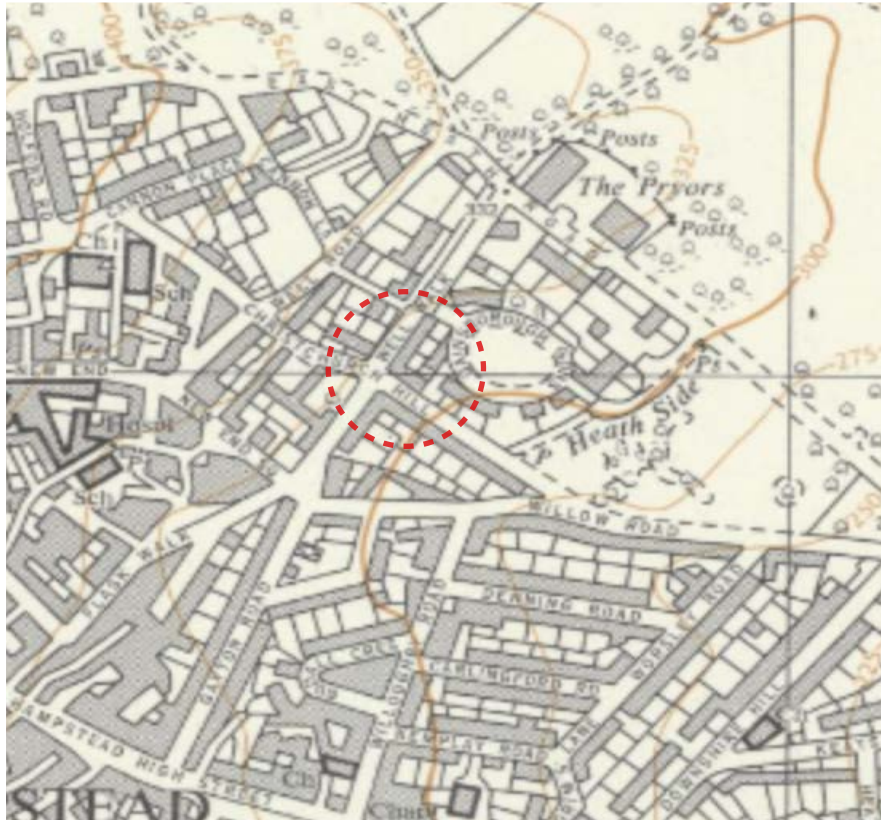
Source: The London School of Economics

1915. London (1915- Numbered sheets) IX.5



Source: Scotland's National Archives

1968. Ordnance Survey Map



Source: Scotland's National Archives

# HISTORY OF THE BUILDING

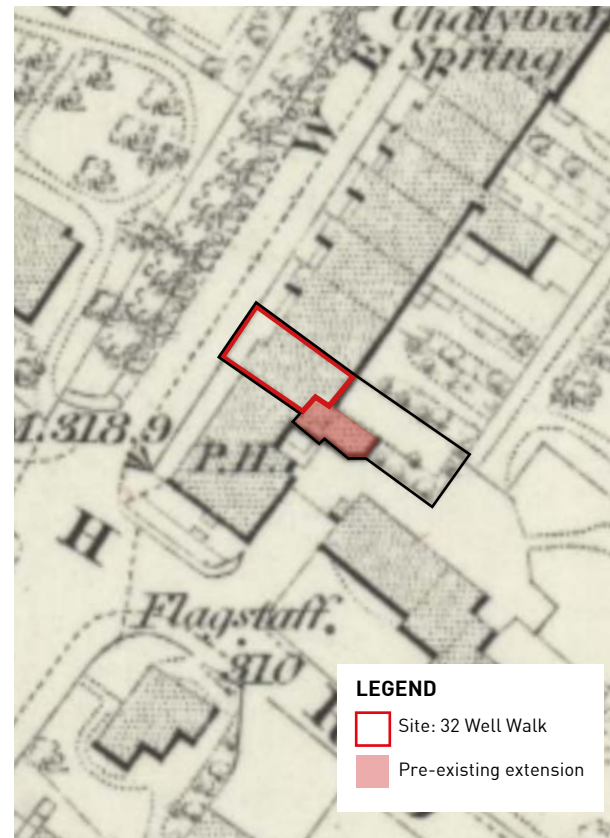
## 1881 - 1950s HISTORY OF THE BUILDING

- Richard Norman Shaw (1831–1912) was a British architect known for his significant contributions to the architectural landscape of late 19th-century Britain. He was influential in the development of several architectural styles, including the Queen Anne Revival and Arts and Crafts movements.



- Shaw's designs were characterized by a departure from the prevailing Victorian Gothic style, favoring instead a more eclectic approach that drew inspiration from historical English architecture, particularly the domestic styles of the late 17th and early 18th centuries. His work often incorporated elements such as red brick, picturesque massing, steeply pitched roofs, and varied rooflines.
- Shaw's work had a lasting impact on British architecture, influencing subsequent generations of architects and contributing to the development of architectural movements such as the Edwardian Baroque and the Arts and Crafts movement. His emphasis on craftsmanship, attention to detail, and adaptation of historical styles continue to be admired by architects and historians today.

## 1874. London (First Editions c1850s) VII



32 Well Walk Map Archive, 1874  
Source : Scotland's National Archive

- The map above indicates the presence of a pre-existing extension on the site, with the earliest documented date placing it in the London (First Editions c1850s) VII map, surveyed in 1866.
- Subsequent maps, such as the London (1925) I.16 Map found in Scotland's National Archive, do not depict this extension, suggesting its removal at some point between these periods. An aerial photograph, dated as the earliest recording available, further corroborates this, revealing a distinct dark patch where the extension once stood before its demolition.
- Our proposed structure appears comparatively smaller than the previous extension and aligns harmoniously with the neighboring architectural schemes.



Aerial Photo Mosaic Sheet, 1949  
Source : National Library of Scotland

## PLANNING HISTORY OF THE TERRACE

### PLANNING APPLICATION FOR NO 32 WELL WALK

The Camden Planning Archive shows the following planning case.  
Property Number : 32 Well Walk

#### **2022/4610/T** (NO OBJECTIONS TO WORKS TO TREE(S) IN CA)

Application Received: 26/10/2022

Application Completed: 26/10/2022

REAR GARDEN: 1 x Ash-Leaved Maple (T1) - Crown reduce by 1m - 2m, prune back branches overhanging neighbours conservatory by 2m back to boundary and prune to balance crown.

#### **2019/1691/T** (NO OBJECTIONS TO WORKS TO TREE(S) IN CA)

Application Received: 01/04/2019

Application Completed: 01/04/2019

REAR GARDEN: 1 x Ash-Leaved Maple (T1) - Reduce in height by 2m, remove stubs left by previous pruning and prune to balance crown.

#### **2017/1582/T** (NO OBJECTIONS TO WORKS TO TREE(S) IN CA)

Application Received: 27/03/2017

Application Completed: 27/03/2017

REAR GARDEN: 1 x Unknown - Remove large branch overhanging 14 Christchurch Hill to boundary line.

### PLANNING APPLICATION FOR NO 34 WELL WALK

The Camden Planning Archive shows the following planning case.  
Property Number : 34 Well Walk

#### **2009/4522/T** (NO OBJECTIONS TO WORKS TO TREE(S) IN CA)

Application Received: 28/09/2009

Application Completed: 26/10/2022

REAR GARDEN: 1 x Bay Tree - Fell.

#### **LMX0103324** (GRANT L B CONSENT WITH CONDITIONS)

Application Received: 28/06/2001

Application Completed: 13/08/2001

The erection of a replacement single storey rear extension, together with various internal and external alterations. As shown on one A3 bound document of drawings; individual drawing nos WEWX01, WEWASK01, WEWP100A/101A/102A/103A/104B/ 201A/202A/203/204/300A/301A/302A.

#### **9570109** (GRANT APPROVAL OF DETAILS (LISTED))

Application Received: 13/04/1995

Application Completed: 23/06/1995

Approval of details of brickwork new doors and rooflight to extension and alterations to existing window at rear ground floor level pursuant to condition 04 (b)-(d) inc. of the consent granted 24th February 1995 (Reg. No: 9470337) as shown on drawing numbers 488/01A - 011A as revised by letter dated 8th May 1995.

#### **9401734** (GRANT FULL OR OUTLINE PERM. WITH CONDIT.)

Application Received: 09/11/1994

Application Completed: 24/02/1995

The erection of a single storey rear extension as shown on drawing numbers 488/PP/01 488/PP/02 and 488/PP/03.

#### **9470337** (GRANT LIST. BUILDING OR CONS. AREA CONSENT)

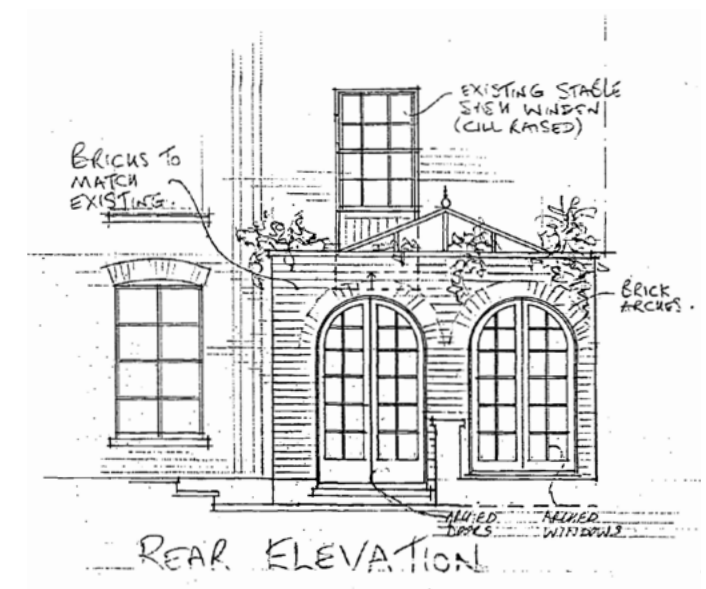
Application Received: 09/11/1994

Application Completed: 24/02/1995

The rebuilding of the single storey rear extension as shown on drawing numbers 488/PP/01 488/PP/02 and 488/PP/03.



View of terrace, 2018  
Source : [www.housebeautiful.com](http://www.housebeautiful.com)



PL/9401734  
Rear Sectional Elevation As Proposed  
Source : Camden Planning Archive

# **PLANNING JOURNEY OF 32 WELL WALK**

## **PRE-PLANNING**

On behalf of our client, we put in request for pre-application advice regarding the desired works, which constituted of reinstating historical features, general refurbishment, and the addition of a small rear extension. After positive feedback from the local planning authority and conservation officer, we decided to apply for planning consent and listed building consent, which are now granted.

## **PLANNING AND LISTED BUILDING CONSENT APPLICATION**

During the consultation period, a series of discussions took place, shaping the appearance of the glazing in the rear extension into a more traditional one, to better complement the historical context in which it exists. After positive feedback for incorporating this advice, the scheme was granted planning permission and listed building consent. (2024/2967/P; 2024/3015/L).

## **A DISCOVERY**

As we prepared the drawings for Stage 4, the structural consultant for the project recommended structural investigations through trial pits. As these investigations were carried out, it became apparent that the dwelling contained two vaults at the front, possibly used for the storage of coal at some point during its history. This is detailed in subsequent pages of this application.

## **ENHANCED REFURBISHMENT**

This was understandably considered by both our client and us to be an exciting development. We all believe that having the opportunity to incorporate a 'lost' feature into the dwelling and its activities would greatly enhance its historical significance, its value, and implicitly, the pleasure of its inhabitants.

# 3 HERITAGE STATEMENT

## STATEMENT OF SIGNIFICANCE



Girls in Flask Walk, Hampstead, 1910  
Source: [www.francisfrith.com](http://www.francisfrith.com)

The assessment of significance has been carried out using the process described by the English Heritage's *Conservation Principles, Policies and Guidance* document, which looks at the "inter-related heritage values that may be attached to a place" and are:

- **Evidential Value:** the potential of a place to yield evidence about past human activity.
- **Historical Value:** the ways in which past people, events and aspects of life can be connected through a place to the present, be it illustrative or associative.
- **Aesthetic Value:** the ways in which people draw sensory and intellectual stimulation from a place.
- **Communal Value:** the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory

### EVIDENTIAL VALUE

No. 32 is part of the Georgian Terrace on Well Walk. The internal layout has been altered, although some of the features remain, like some of the original cornicing on the rear of the ground floor and the hallway which is in immediate need of repair. The visible exterior has been kept more or less intact, although the windows have been replaced at some point in the past.

### HISTORICAL VALUE

There has been no notable residents at no.32 Well Walk, nor any historical events have taken place within this building. The Heritage Assessment Report denotes historical interest as medium.

### AESTHETIC VALUE

The majority of no.32 Well Walk external elevations are original, we have designed the extension in the aim it will contribute positively in terms of materiality brick facade, scale and detailing. Internally some original fabric remains, however a few of the newer features

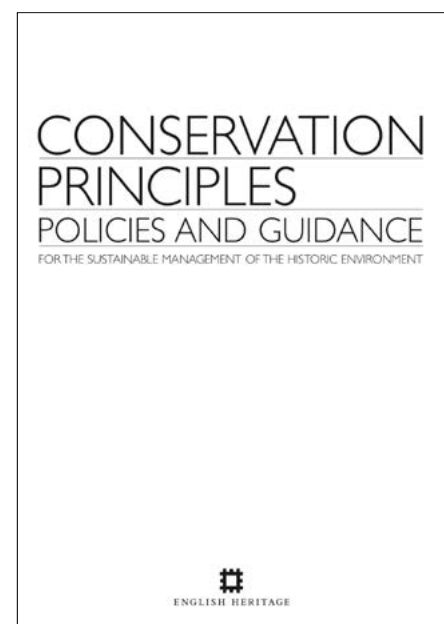
are contrasting rather than complementary to it. The chosen cornices do not fit in with the original fabric, and they damage the sense of hierarchy that should be present in a Georgian building. These unsympathetic alterations would benefit from being removed, and historical appropriate details reintroduced.

### COMMUNAL VALUE

No.32 Well Walk is part of locally listed series of terrace houses, and is visible from the road it is situated on, which is one of the most historical streets in the area. Its communal value is not individual, but as part of a whole. Our proposal intends to not interfere with the existing communal fabric.

### SIGNIFICANCE SUMMARY

The significance of no.32 Well Walk comes from its mostly surviving external Georgian appearance, as part of the long elevation of Well Walk and its integration with it.



# 4 A DISCOVERY

## CONDITION SURVEY OF EXISTING FABRIC

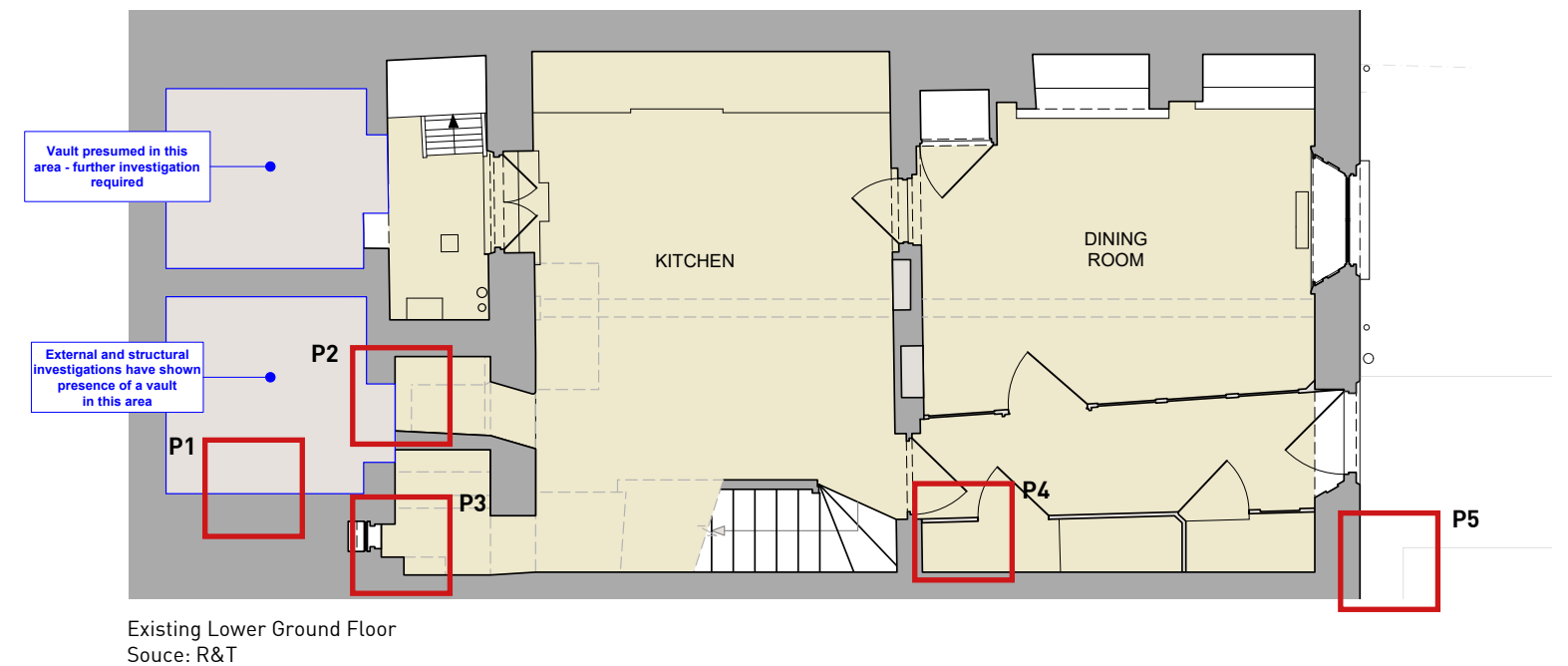
### LOWER GROUND FLOOR

During structural investigations of the foundations at lower ground floor level, our contractor has discovered the remnants of archways behind multiple layers of plaster. The location, underneath the main entrance, indicates the presence of a vault. This is also supported by the existence of coal holes above.

Coal vaults were a common feature in Georgian properties in London, serving as storage for the fuel that heated these homes. The coal would be unloaded from carts directly through the coal hole and into the vault, keeping the fuel out of the main living areas and minimising the mess.

The design of coal vaults varied, but they were often arched or vaulted to provide structural support and maximize storage space. Based on historical precedent, the number of rooms, and chimney stack, we assume that the vaults are of the indicated size.

As they were not particularly pleasant spaces to keep, many coal vaults were sealed off or infilled when they were made obsolete by the Clean Air Act of 1956, each a small piece of London's history lost.



Coal hole in front of 32 Well Walk  
Source: R&T



P1 - Low light photograph of coal vault with the coal hole visible at the top



P2 - Remains of arches visible at lower ground floor level indicates vault presence



P3 - Structural investigations showing the depth of foundations in the area



P4 - Structural investigations in the area



P5 - Structural investigations in the rear garden

# 5 PROPOSAL

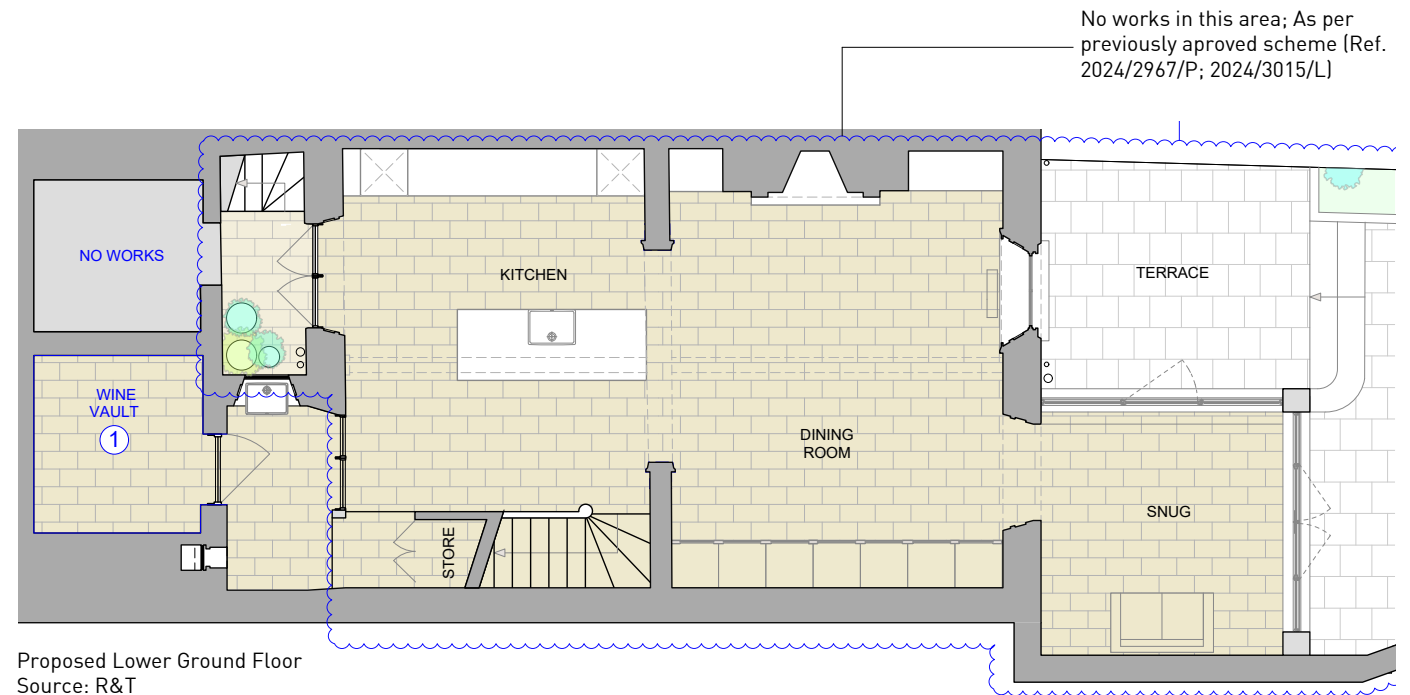
## REINSTATEMENT OF VAULT

### LOWER GROUND FLOOR

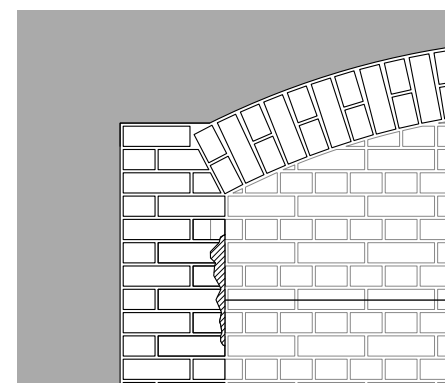
After the survey, the owner decided that it would be worthwhile to include the reinstatement and refurbishment of the vaults into the scheme. This would create a bridge between the dwelling's storied past and the present, revealing a piece of its history.

In order to ensure their usefulness, we propose that one is connected to the main kitchen space of the lower ground floor, with minimal changes to the approved scheme. We propose to sensitively restore the vault by ensuring that it becomes as livable as the rest of the house. The guidance for waterproofing this type of space within a heritage building suggests the use of a drain system to ensure that the historical fabric remains intact and undamaged.

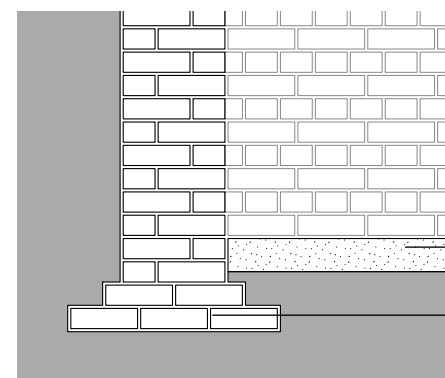
The proposal involves keeping as much of the original materials as possible, or using reclaimed on site, historically appropriate materials to match.



Precedent images of sensitive vault restorations which incorporate original historical fabric into contemporary schemes

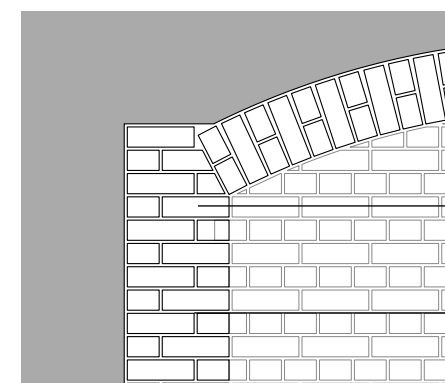


Brickwork in poor condition due to environment

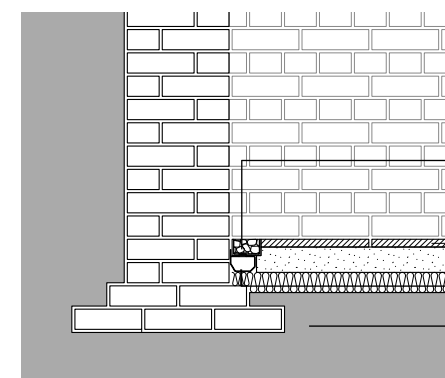


Lack of drainage and ventilation have made floor uneven  
Corbelled foundation as per structural investigations

Detail of existing vault



Decayed bricks to be replaced with matching bricks reclaimed on site  
Brickwork repointed with lime mortar



Narrow perimeter channel filled with gravel to collect moisture from walls  
Yorkstone pavers to match floor finish on the rest of the lower ground  
Perimeter drainage channel  
Proposed detailing to improve environmental conditions and keep existing fabric intact

Proposed vault detailing

# PROPOSED STRATEGY AND MATERIALS

## WATERPROOFING STRATEGY & VENTILATION

- WATERPROOFING

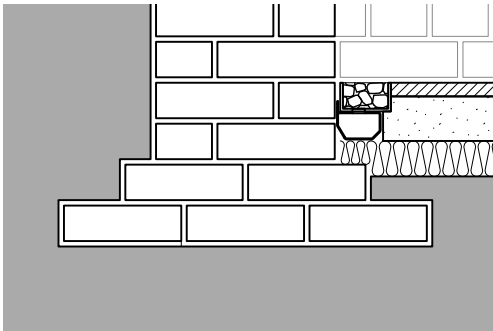
It is important to ensure that a historical vault such as this is brought to contemporary standards in terms of habitation conditions, while keeping as much of the building fabric as possible intact.

As such, we propose the use of a perimeter drain system, which would keep the fabric of the vault intact and exposed. Any ingress is collected within the perimeter drainage channel, keeping the room dry. Within the floor we would install a ventilated cavity system, manufactured by Newton. While this waterproofing strategy is effective, it leaves the original brickwork of the vault intact.

- VENTILATION

Ventilation is equally important in making the vault habitable. Part of the strategy rests on the waterproofing system. By allowing moisture to leave the room, the air quality would improve.

Secondly, there is an opportunity to have direct external mechanical ventilation to the building’s front lightwell. This can be done through an airbrick.



Perimeter Drainage Channel Detail  
Source: R&T

## WALLS

- It is highly likely that the existing vault walls will be very old London stock yellow bricks. We propose the use of reclaimed London stock yellow bricks to match the existing, in order to preserve the original appearance.
- Bricks will have suitable lime mortar joints.
- Form of existing vault to be preserved.



London Stock Reclaimed Bricks  
Source: Apollo Bricks

## FLOOR

- To ensure coherence with the rest of the lower ground floor, we propose the use of Yorkstone pavers with lime mortar joints to match.
- Additionally, Yorkstone pavers have been used in buildings for hundreds of years, they complement the historical setting very well, and they are hard wearing, which makes them appropriate for use next to the utility area.



Yorkstone Pavers Floor Precedent  
Source: R&T

# 32 Well Walk

## Appendix 1 : Existing Drawings

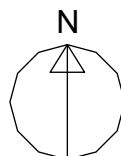
# SITE PLAN



1 Location Plan  
0000 Scale 1:1250@A3



2 Block Plan  
0000 Scale 1:500@A3



| No. | Date | By | Revision Notes |
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Note

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*All dimensions to be checked on site*



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32 Well Walk  
NW3 1BX

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|  | Project Title |

32 Well Walk

Sheet Title

## Site Plan

Drawn By

TK

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|  | Project ID |
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2302

Reviewed By

GR

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1:100 @ A3

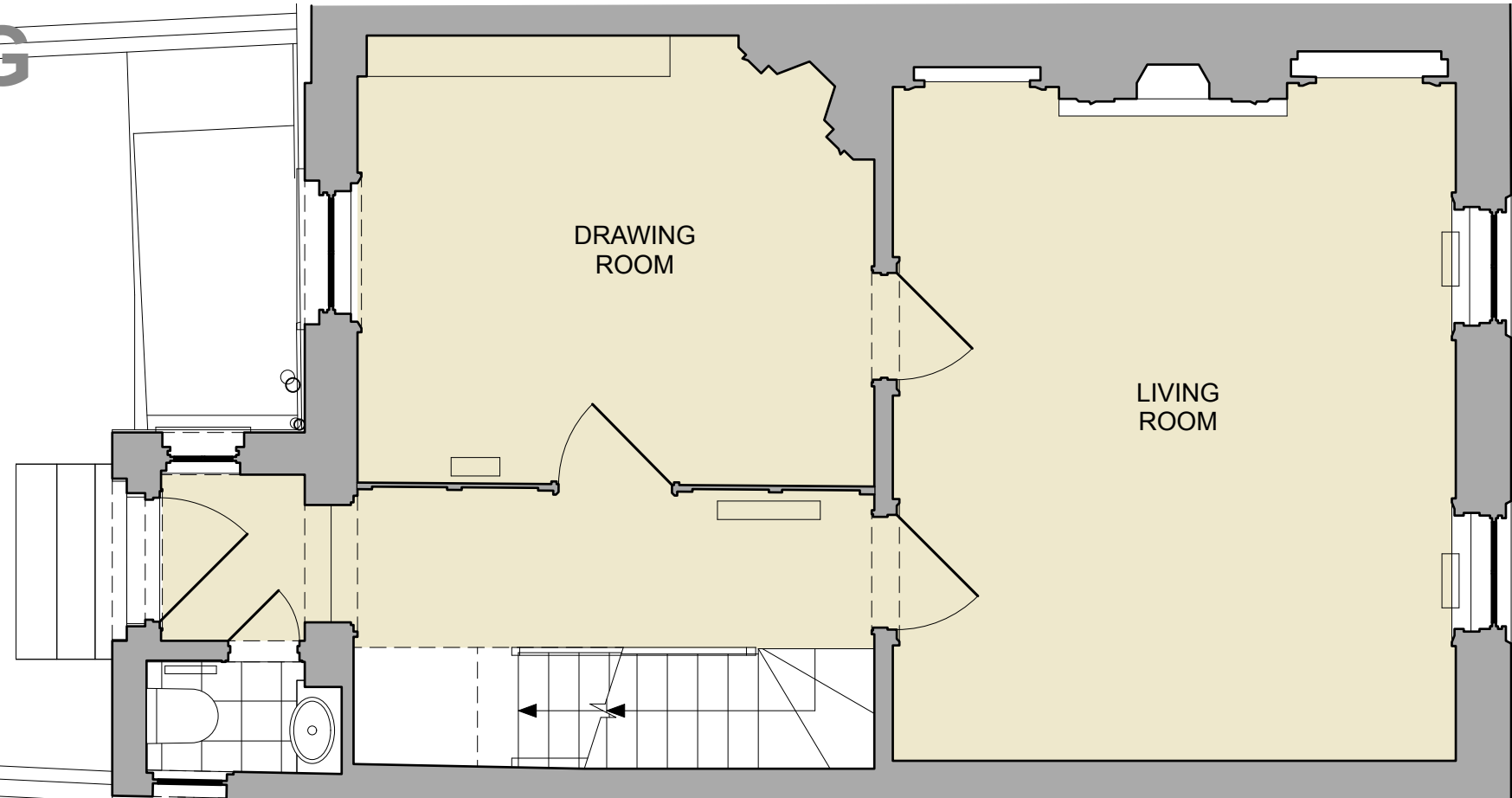
Date \_\_\_\_\_

19/03/2024

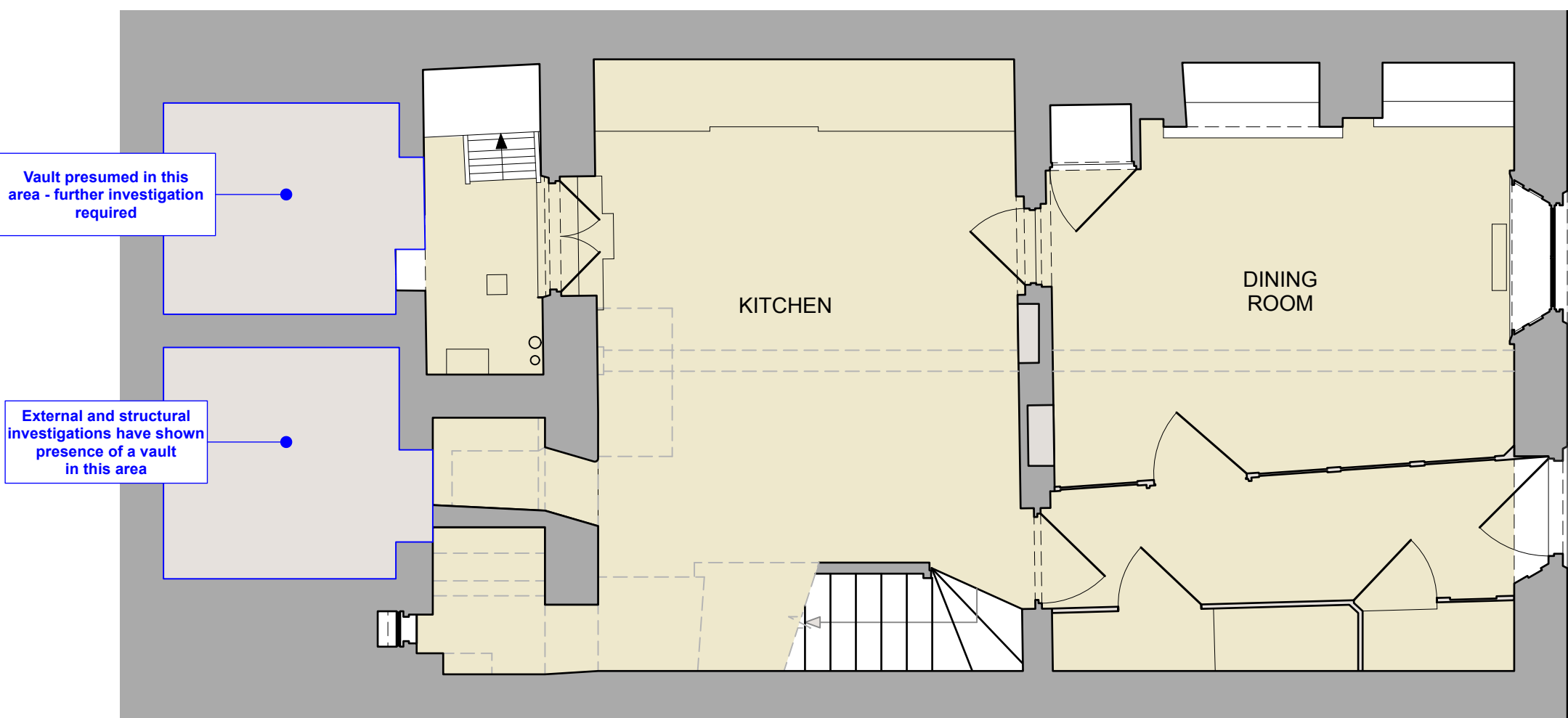
Sheet No.

2302-0000

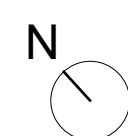
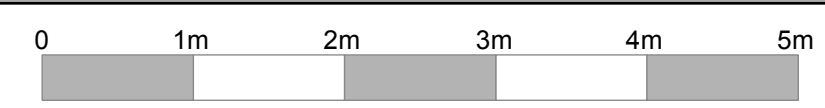
# EXISTING PLANS



2 Existing Ground Floor Plan  
000 Scale 1:50@A3

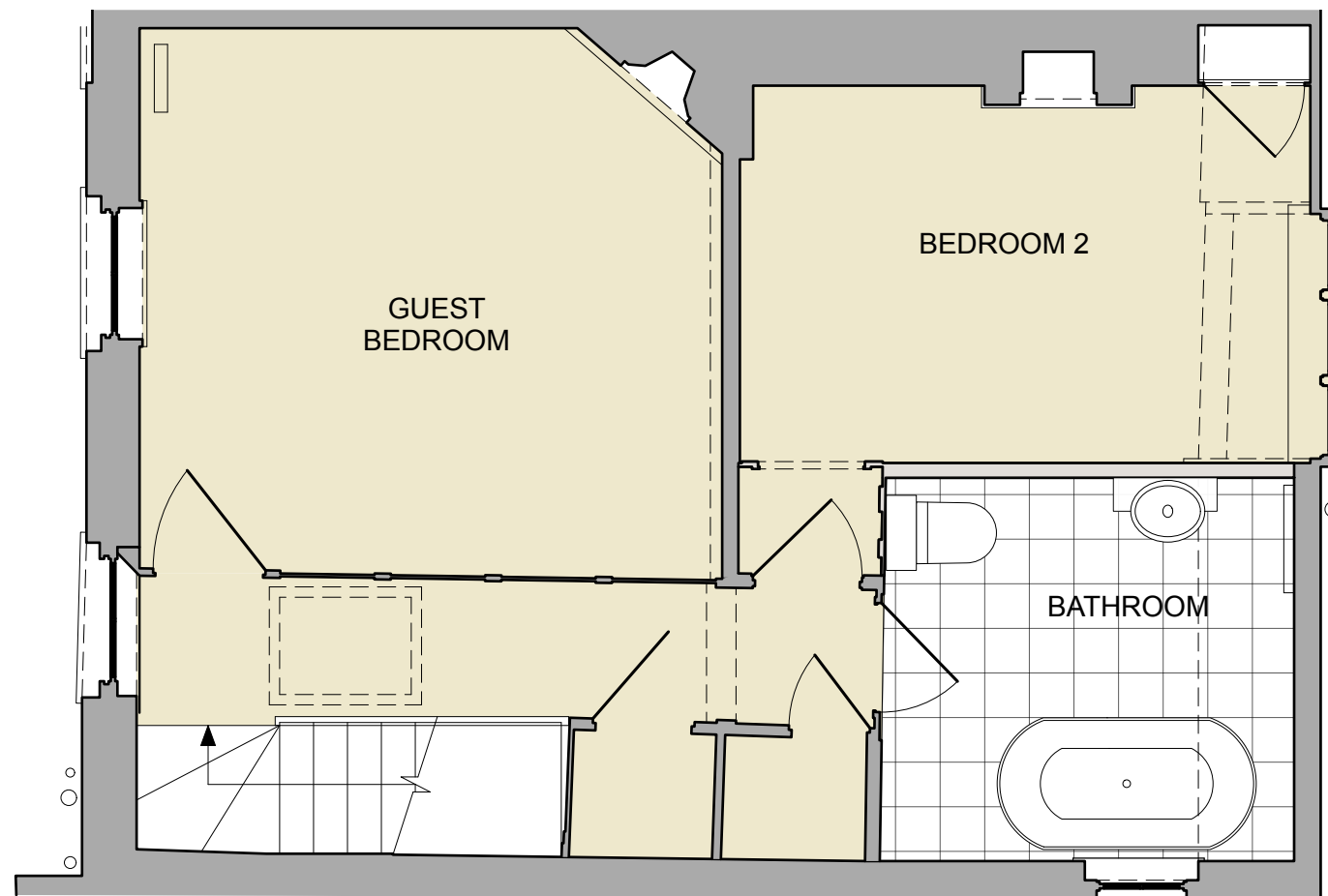


1 Existing Lower Ground Floor Plan  
000 Scale 1:50@A3

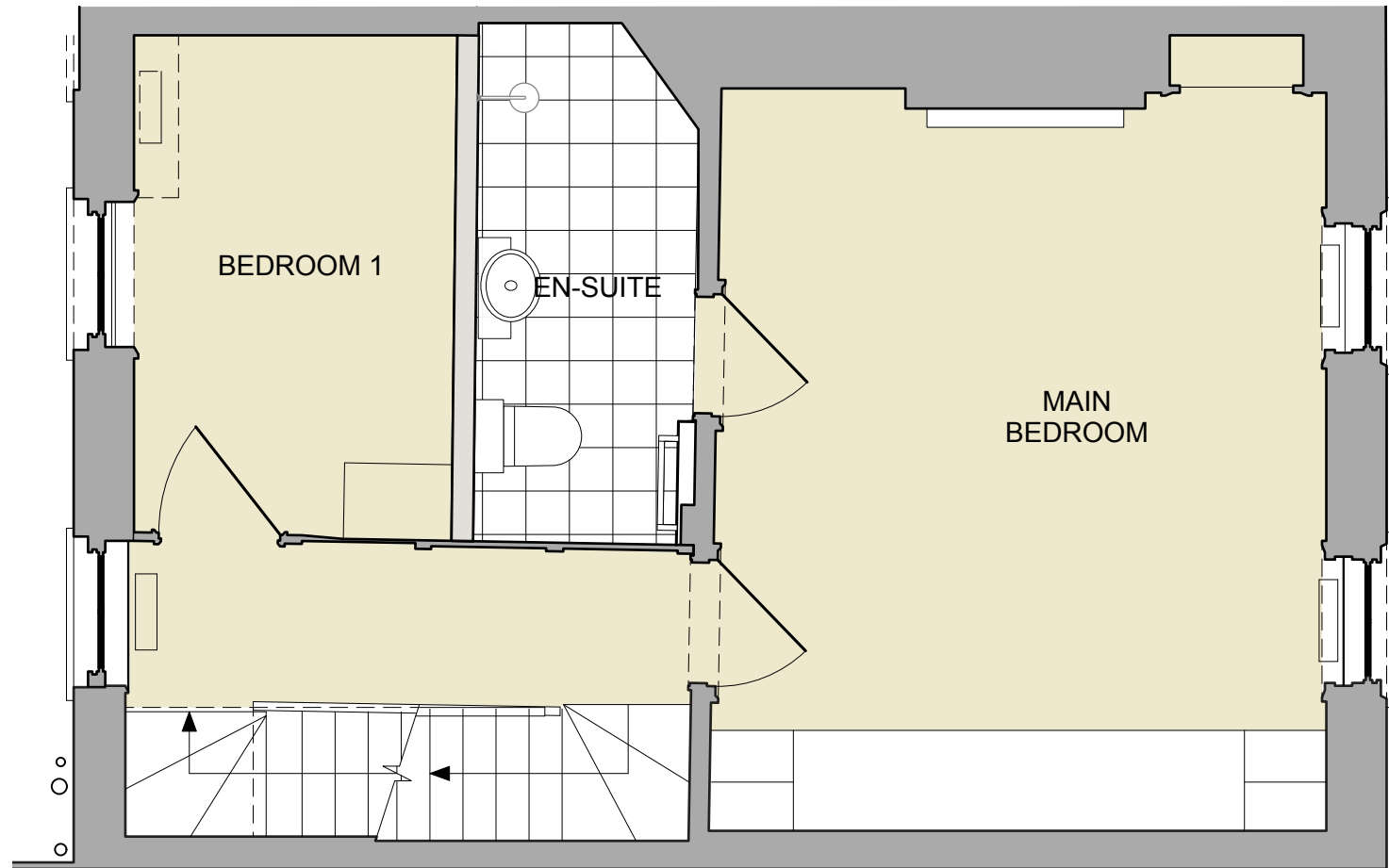


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| Client                                                                                                                                                                                                                                                |      |            |                |
| Well Walk<br>NW3 1BX                                                                                                                                                                                                                                  |      |            |                |
| Project Title                                                                                                                                                                                                                                         |      |            |                |
| 32 Well Walk                                                                                                                                                                                                                                          |      |            |                |
| Sheet Title                                                                                                                                                                                                                                           |      |            |                |
| EXISTING Lower Ground & Ground Floors                                                                                                                                                                                                                 |      |            |                |
| Drawn By                                                                                                                                                                                                                                              |      | Project ID |                |
| CB                                                                                                                                                                                                                                                    |      | 2302       |                |
| Reviewed By                                                                                                                                                                                                                                           |      | Scale      |                |
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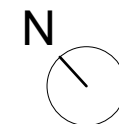
# EXISTING PLANS



2 Existing Second Floor Plan  
001 Scale 1:50@A3

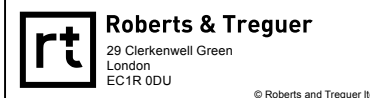


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| 1   | Existing First Floor Plan |
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Client

Well Walk  
NW3 1BX

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| Project Title | 32 Well Walk |
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Sheet Title

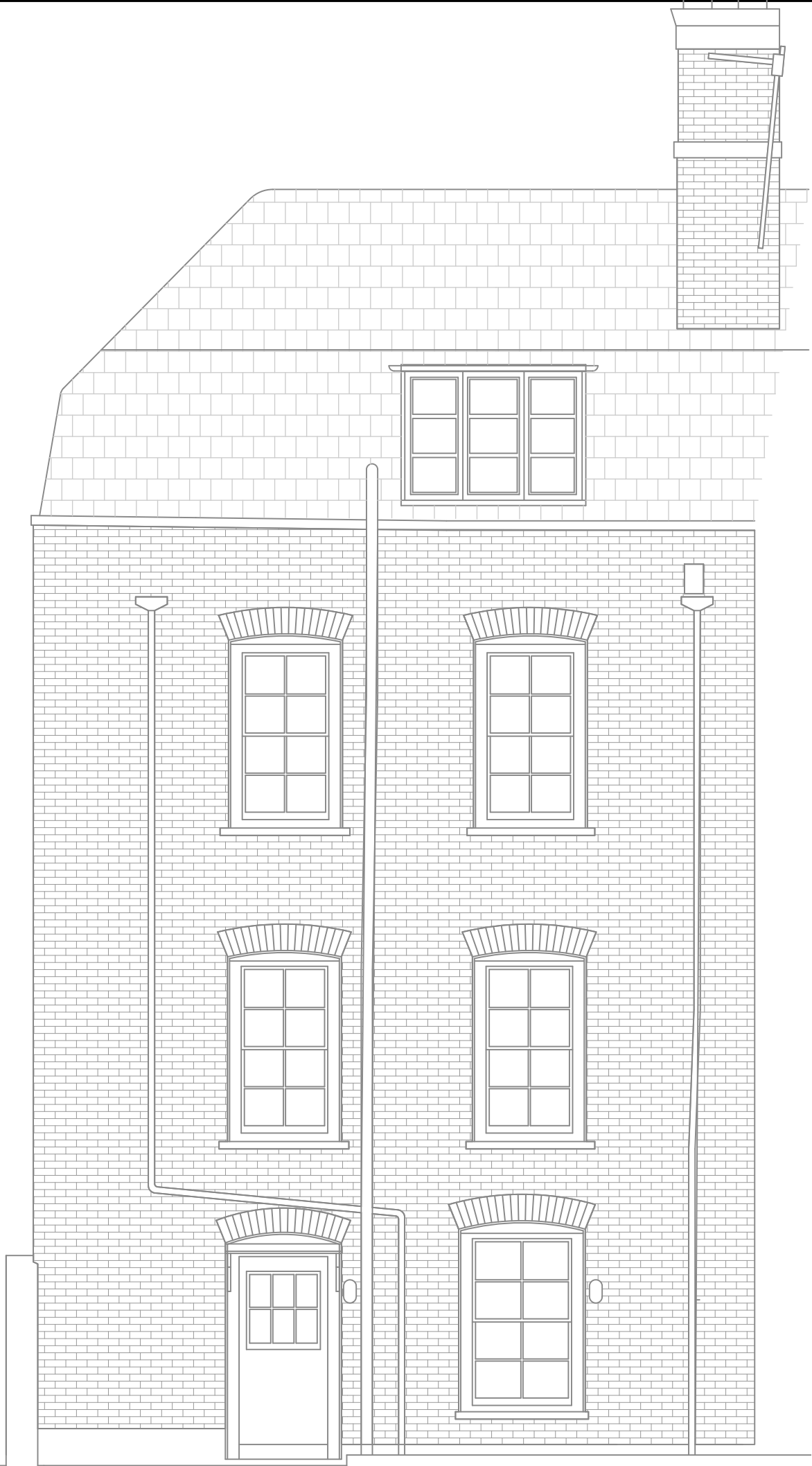
EXISTING First & Second Floors

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| Drawn By    | CB         | Project ID | 2302      |
| Reviewed By | GR         | Scale      | 1:50 @ A3 |
| Date        | 06/02/2023 | Sheet No.  | 2302-001  |

# EXISTING - ELEVATIONS



1 Existing Front Elevation  
200 Scale 1:50@A3



2 Existing Rear Elevation  
200 Scale 1:50@A3



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| 32 Well Walk<br>NW3 1BX                                                                                                                                                                                                                               |      |            |                |
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| 32 Well Walk                                                                                                                                                                                                                                          |      |            |                |
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| EXISTING Elevations                                                                                                                                                                                                                                   |      |            |                |
| Drawn By                                                                                                                                                                                                                                              |      | Project ID |                |
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| Date                                                                                                                                                                                                                                                  |      | Sheet No.  |                |
| 06/02/2023                                                                                                                                                                                                                                            |      | 2302-200   |                |

# 32 Well Walk

## Appendix 2 : Proposed Drawings

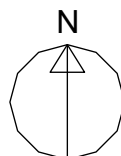
# SITE PLAN



1 Location Plan  
0000 Scale 1:1250@A3



2 Block Plan  
0000 Scale 1:500@A3



| No. | Date | By | Revision Notes |
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32 Well Walk  
NW3 1BX

Project Title

32 Well Walk

Sheet Title

## Site Plan

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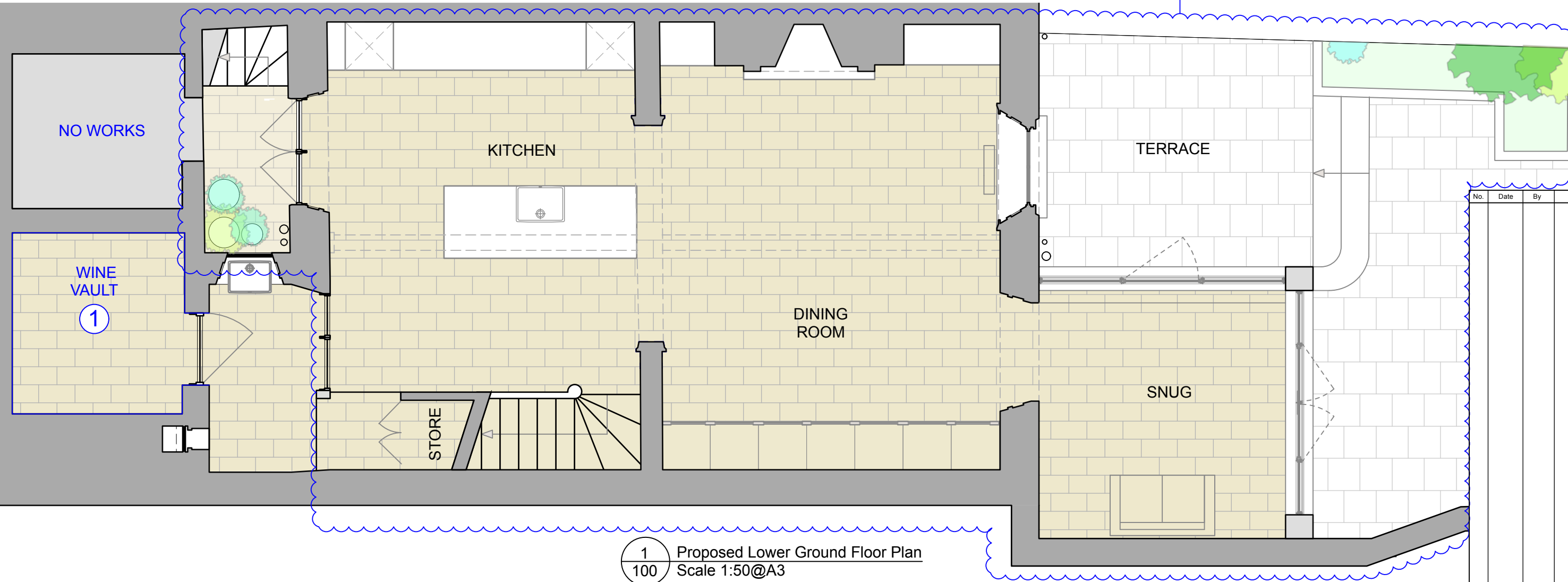
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2302-0000

# PROPOSED - PLANS

No additional works; As per previously approved scheme (Ref. 2024/2967/P; 2024/3015/L)



1  
100 Proposed Lower Ground Floor Plan  
Scale 1:50@A3

- Proposed
- 1 Coal vault tanked, refurbished and reinstated true to original designs

| No. | Date | By | Revision Notes |
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Note

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Project Title

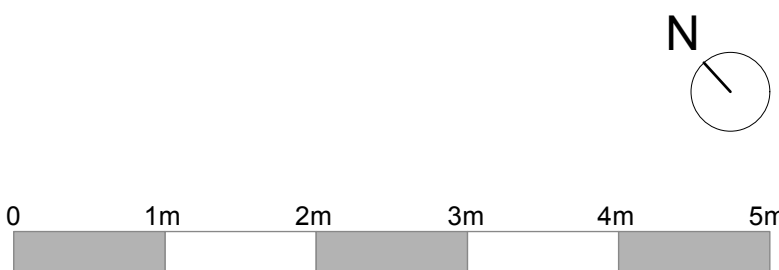
32 Well Walk

Sheet Title

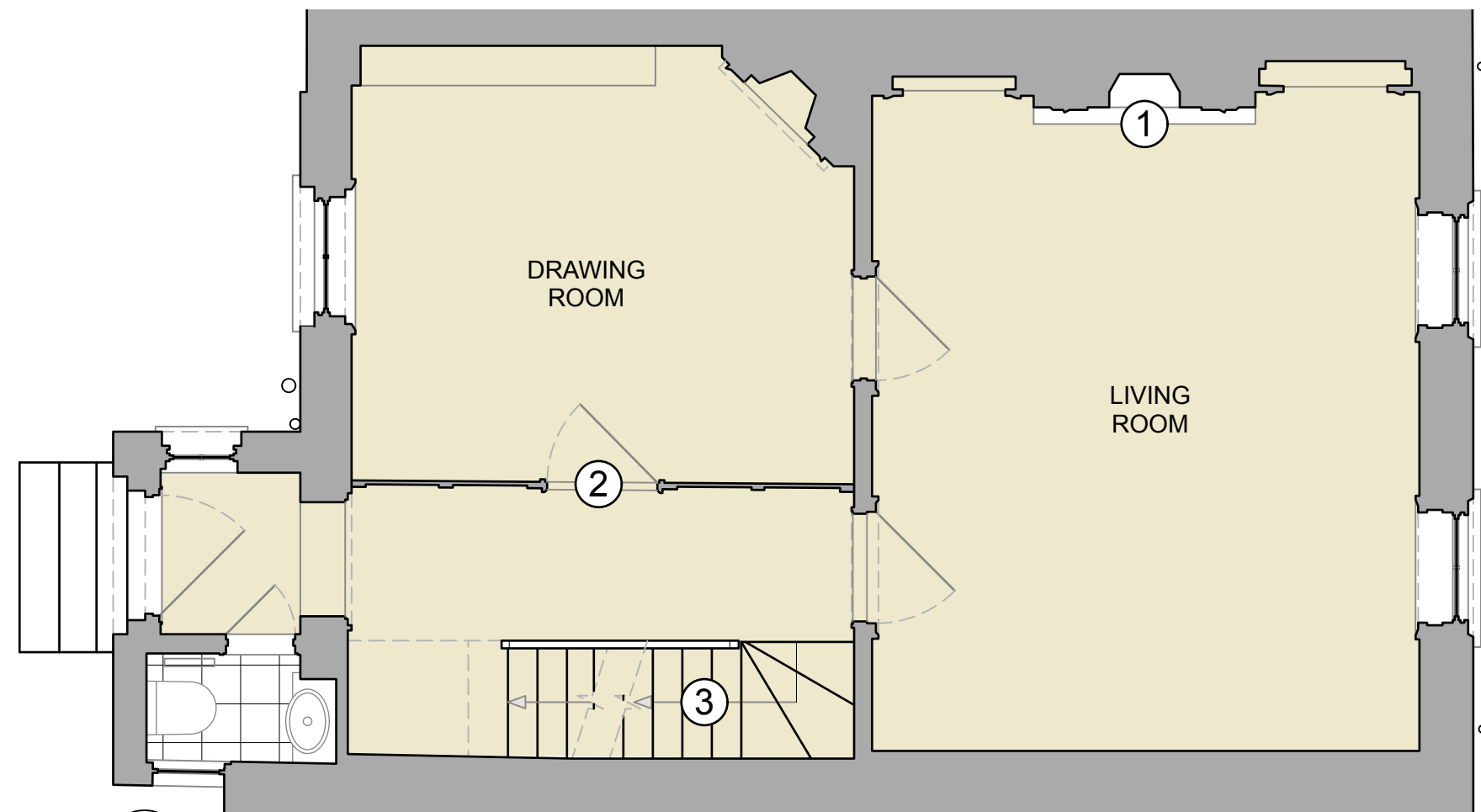
PROPOSED Lower Ground Floor

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| Drawn By    | CB | Project ID | 2302      |
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| Date | 06/02/2023 | Sheet No. | 2302-100 |
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# PROPOSED - PLANS



1  
101 Proposed Ground Floor Plan  
Scale 1:50@A3

## Proposed Materials

- ① Retain and restore original fireplace
- ② Existing panelling to be restored
- ③ Existing stair to be refurbished, repaired and repainted

| No. | Date | By | Revision Notes |
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32 Well Walk  
NW3 1BX

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## 32 Well Walk

Sheet Title

PROPOSED Ground Floor

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| Drawn By |  |
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CB

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| Project ID |  |
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Reviewed By  
CB

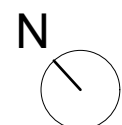
Scale 1:50 @ A2

Date \_\_\_\_\_

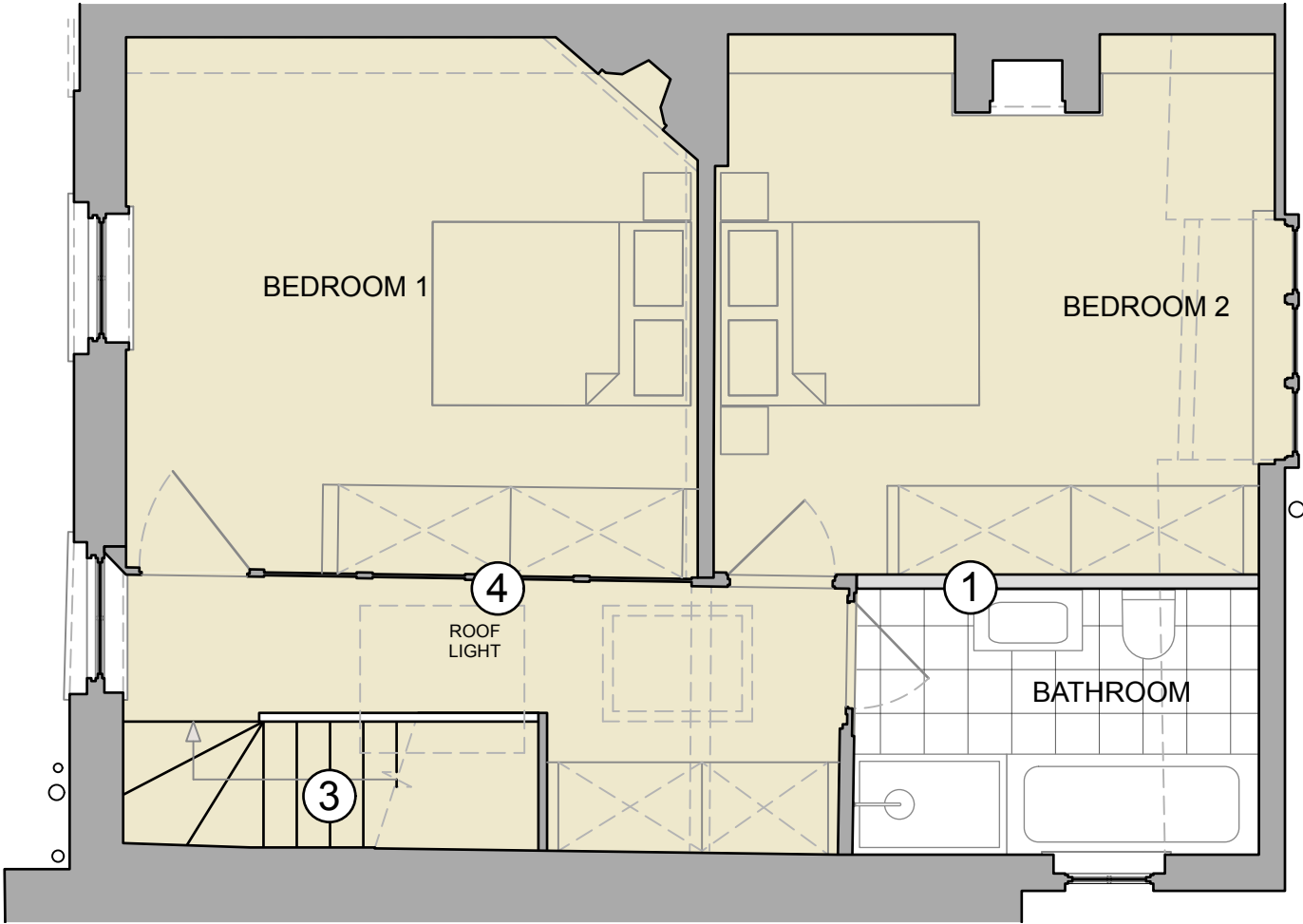
Sheet No.

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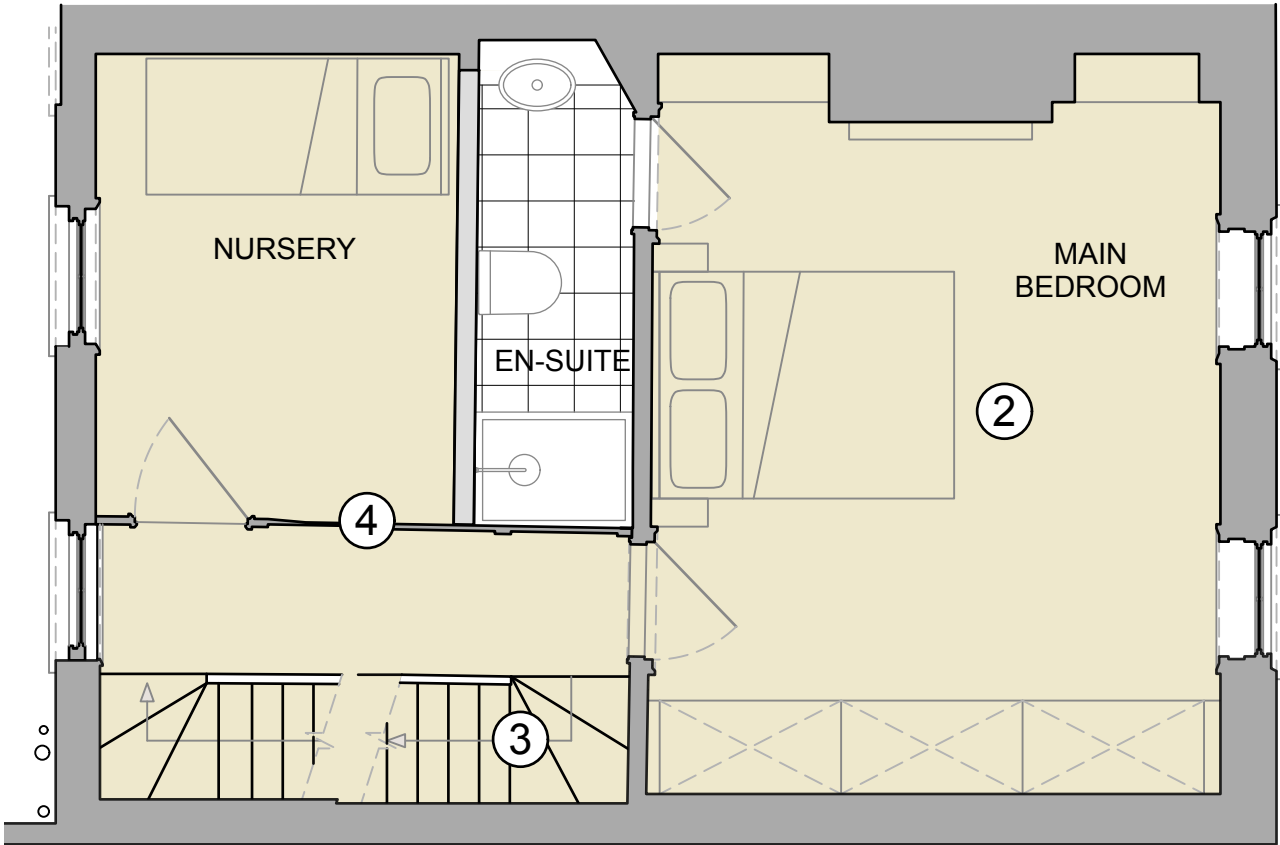
2302-101



# PROPOSED PLANS



2 Proposed Second Floor Plan  
102 Scale 1:50@A3



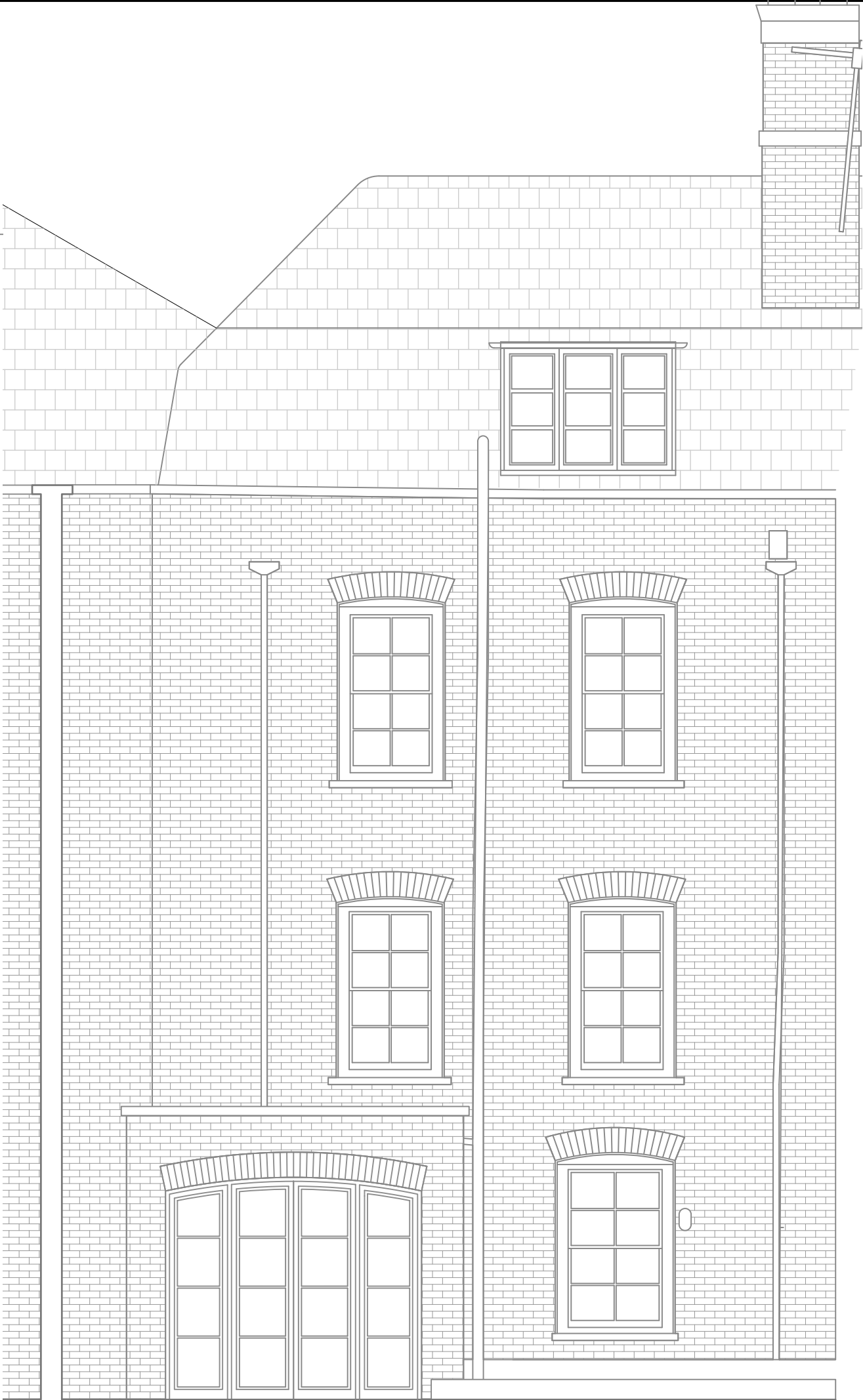
1 Proposed First Floor Plan  
102 Scale 1:50@A3

- ### Proposed Materials
- 1 Re-instate original partition
  - 2 Reclaimed timber flooring to match original floorboards
  - 3 Existing stair to be refurbished, repaired and repainted
  - 4 Existing panelling to be restored



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| Client                                                                                                                                                                                                                                                |      |            |                |
| Well Walk<br>NW3 1BX                                                                                                                                                                                                                                  |      |            |                |
| Project Title                                                                                                                                                                                                                                         |      |            |                |
| 32 Well Walk                                                                                                                                                                                                                                          |      |            |                |
| Sheet Title                                                                                                                                                                                                                                           |      |            |                |
| PROPOSED First & Second Floors                                                                                                                                                                                                                        |      |            |                |
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| CB                                                                                                                                                                                                                                                    |      | 2302       |                |
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| 06/02/2023                                                                                                                                                                                                                                            |      | 2302-102   |                |

PROPOSED - ELEVATIONS



1 Proposed Front Elevation  
300 Scale 1:50@A3

2 Proposed Rear Elevation  
300 Scale 1:50@A3



| No.                                                                                                                                                                                                                                                   | Date | By         | Revision Notes |
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| Client                                                                                                                                                                                                                                                |      |            |                |
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| Sheet Title                                                                                                                                                                                                                                           |      |            |                |
| PROPOSED Elevations                                                                                                                                                                                                                                   |      |            |                |
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| 06/02/2023                                                                                                                                                                                                                                            |      | 2302-300   |                |