

04. PROPOSAL

4.0 DESIGN PROPOSAL

4.1.1 PROPOSED DEVELOPMENT

Works to the lower ground floor include:

- Replacement of existing windows; same style and proportion to be retained. New Victorian style sash windows with slimline glazing proposed.
- Removal of under stair joinery; retention of existing staircase
- Opening to B1 closed up and relocated to opposite end of wall.
- Removal of non original 1980s partition between B3 and B4
- Removal of non original 1980s partition between B5 and B6
- Removal of non original joinery & fireplace surrounds in B1 and B2
- Removal of existing external paving
- Removal of 1980s columns to GF balcony structure
- Construction of attenuated enclosure to rear garden to house ASHP
- Landscaping works to rear garden

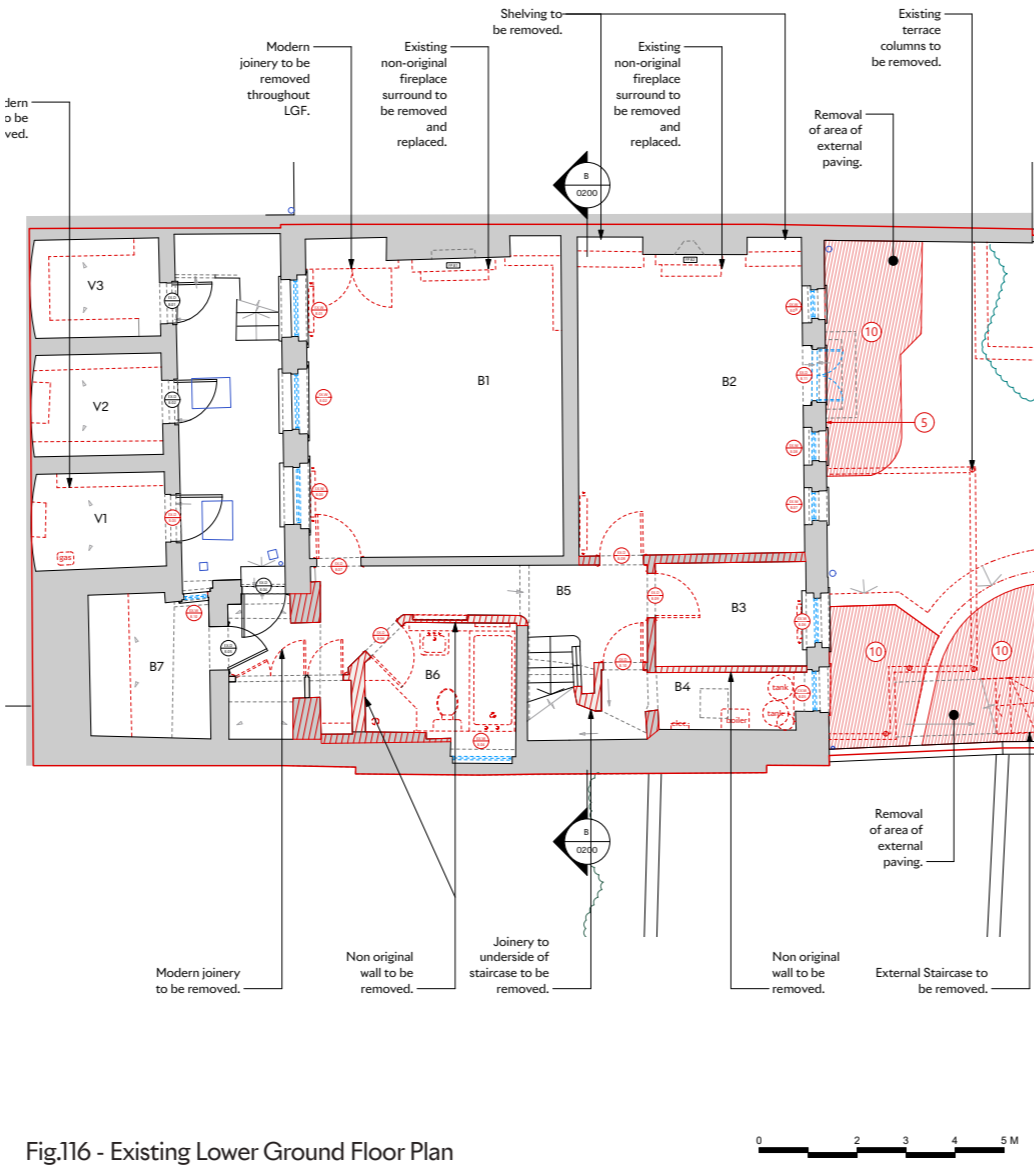


Fig.116 - Existing Lower Ground Floor Plan

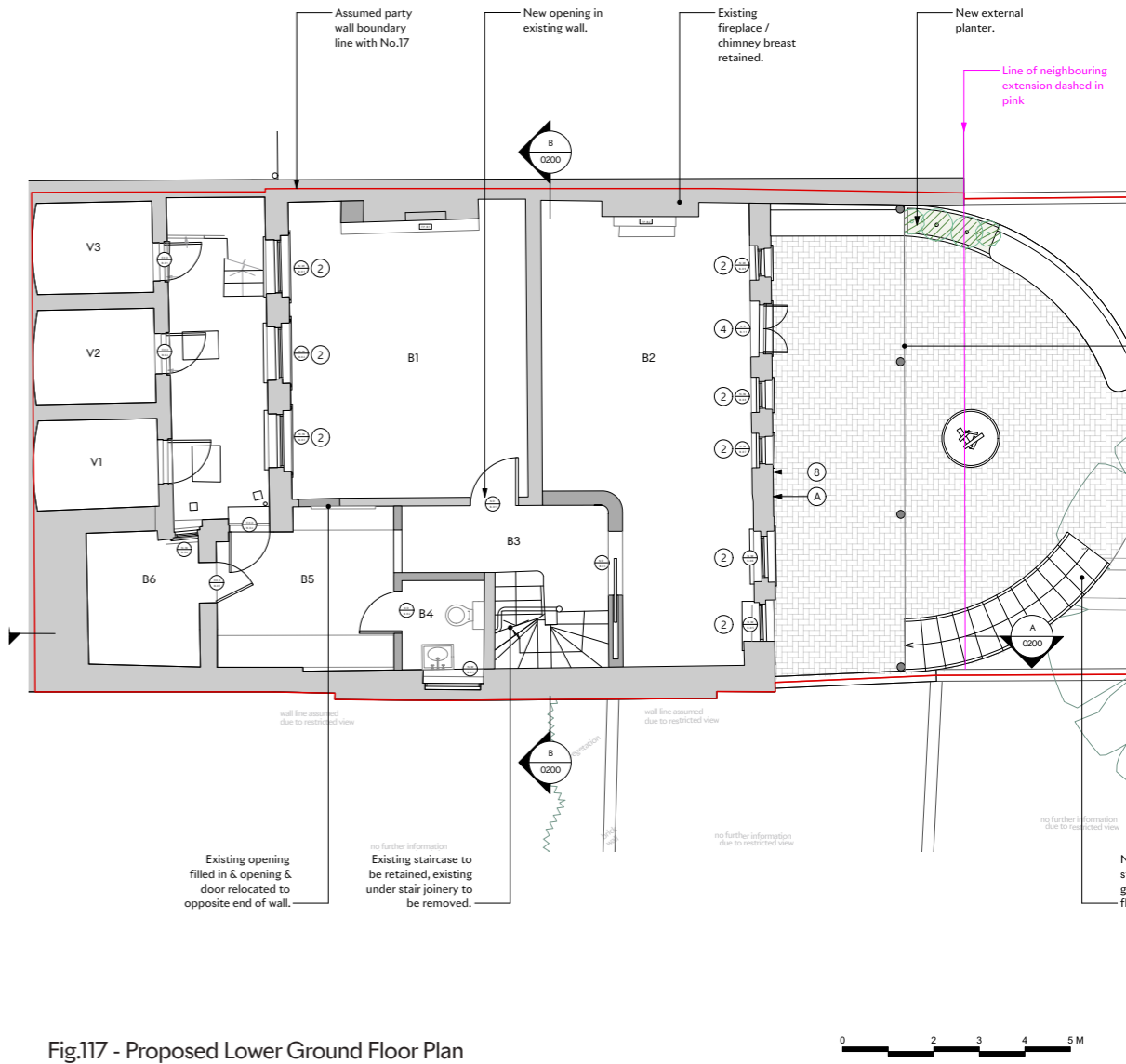


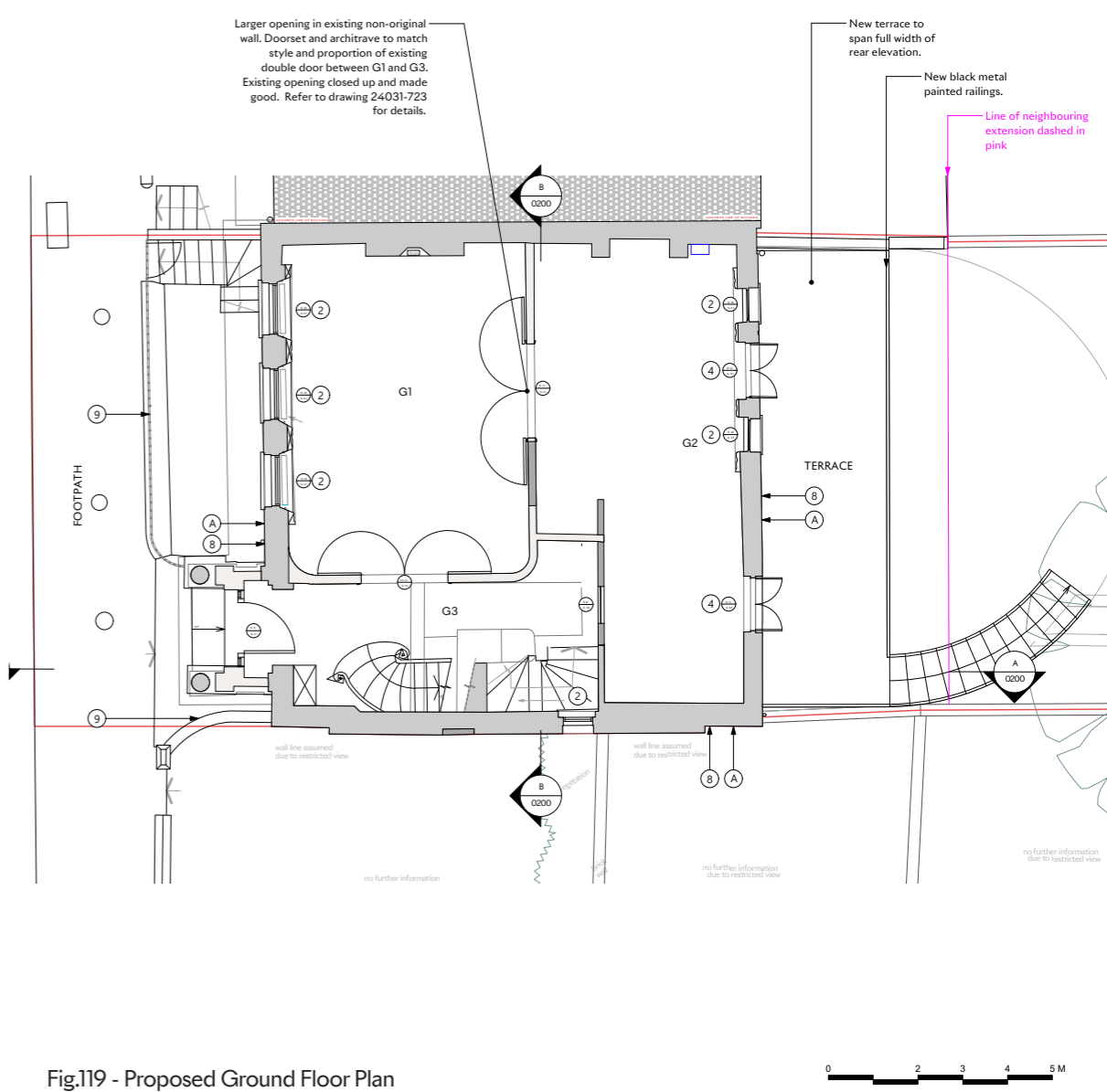
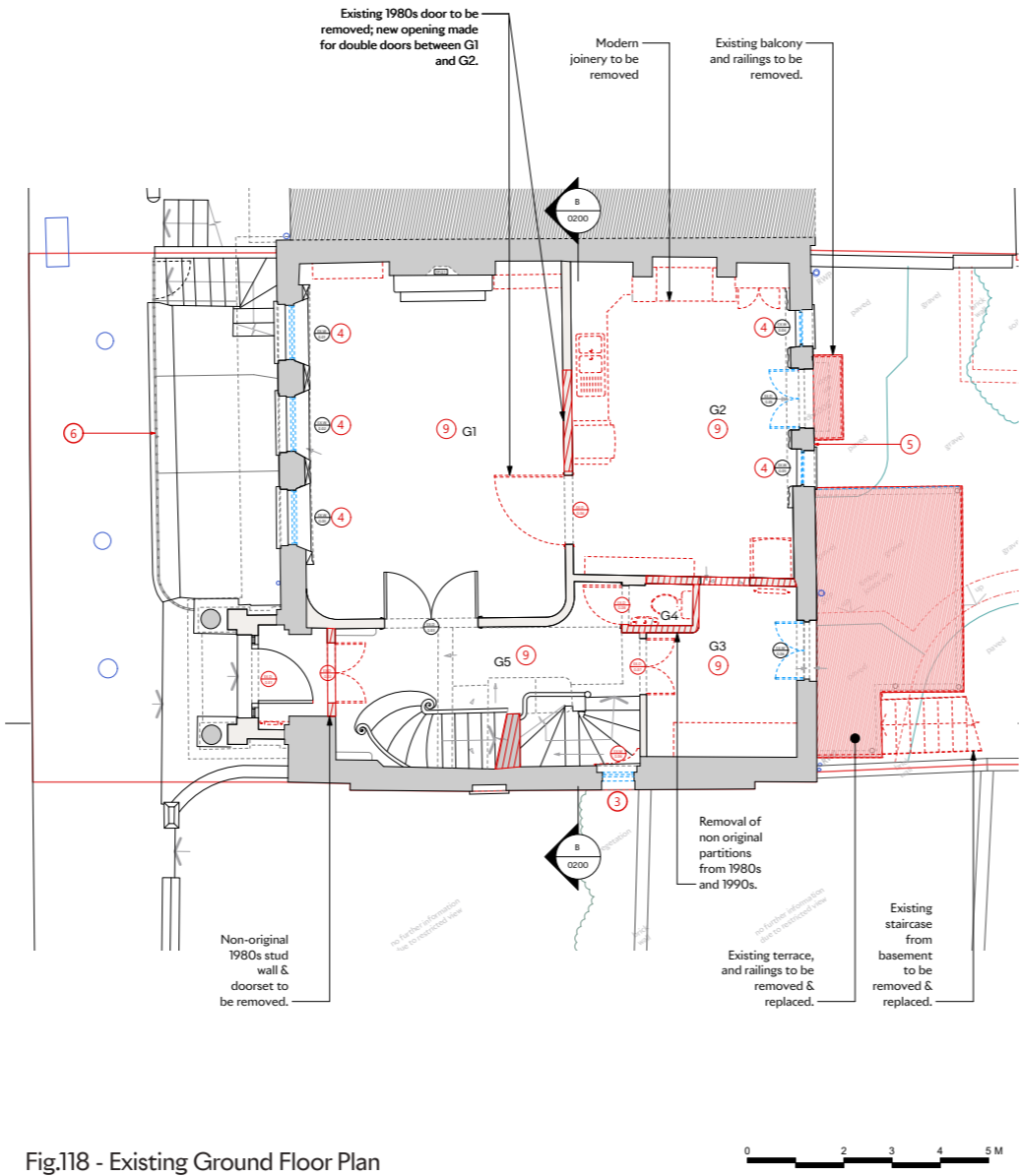
Fig.117 - Proposed Lower Ground Floor Plan

4.0 DESIGN PROPOSAL

4.1.2 GROUND FLOOR PROPOSAL

Works to the ground floor include:

- Replacement of existing windows; same style and proportion to be retained. New Victorian style sash windows with slimline glazing proposed.
- Replacement of existing external staircase, balcony and railings
- Removal of non original 1980s partition between G2 and G3
- Removal of non original 1990s partition to G4
- New double door opening to non original 1980s wall between G1 and G2
- Refurbishment of front entry railings where necessary
- Modern floor finishes to be removed existing floor boards to be retained



4.0 DESIGN PROPOSAL

4.1.2 GROUND FLOOR PROPOSAL
CONT'

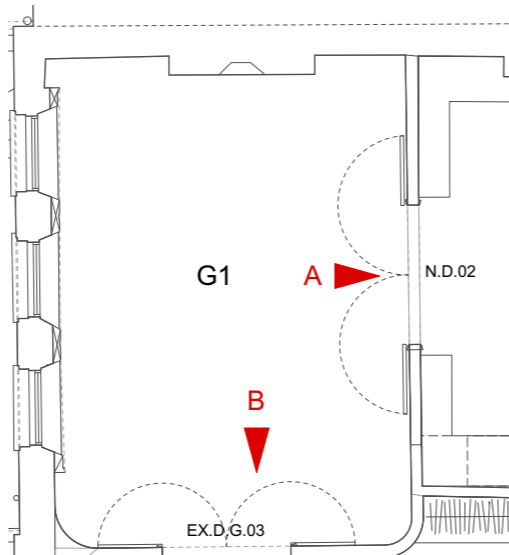


Fig.120 - Proposed Ground Floor Plan



Fig.121 - Existing door EX.D.01



Fig.122 - Existing door EX.D.02

New double doors are proposed between rooms G1 and G2.
The existing opening was added in the late 1980s where both spaces were slightly reconfigured.
We are proposing a new wider double door opening between rooms G1 and G2 to match the style and proportion of existing door EX.D.01.

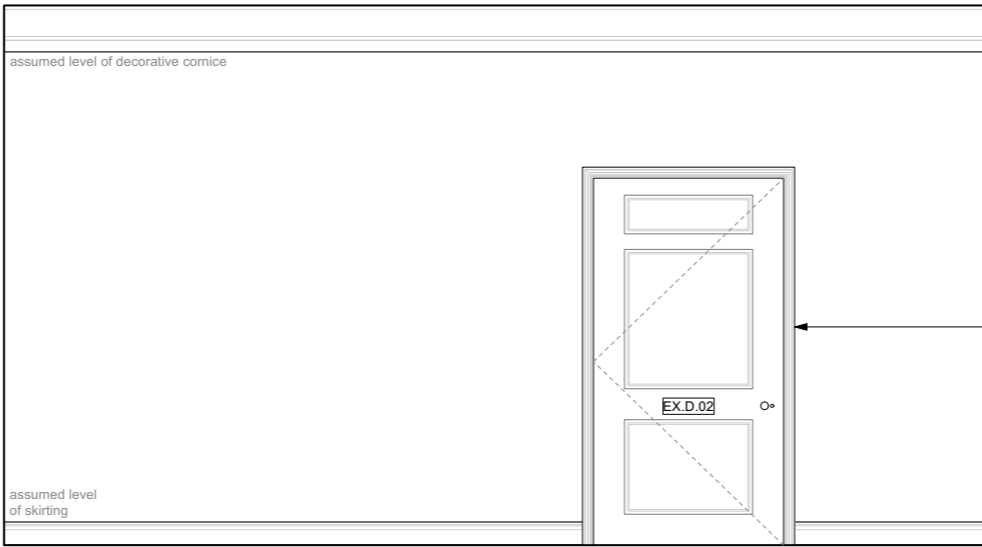


Fig.123 - Existing Ground Floor Elevation A

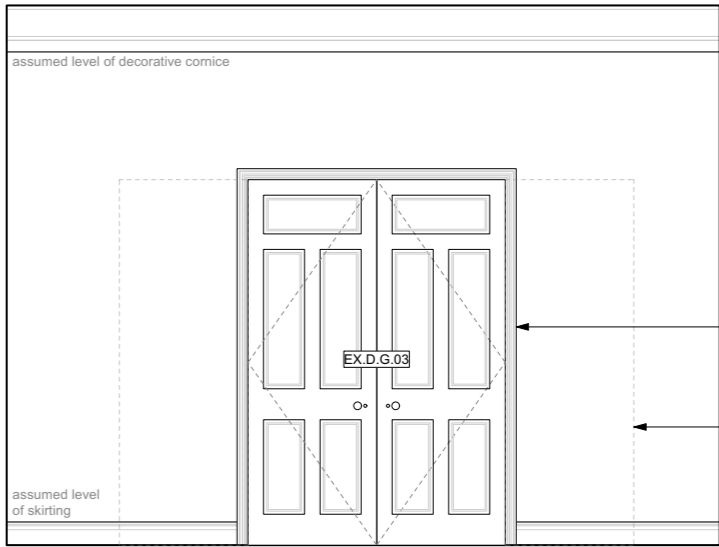


Fig.124 - Existing Ground Floor Elevation B

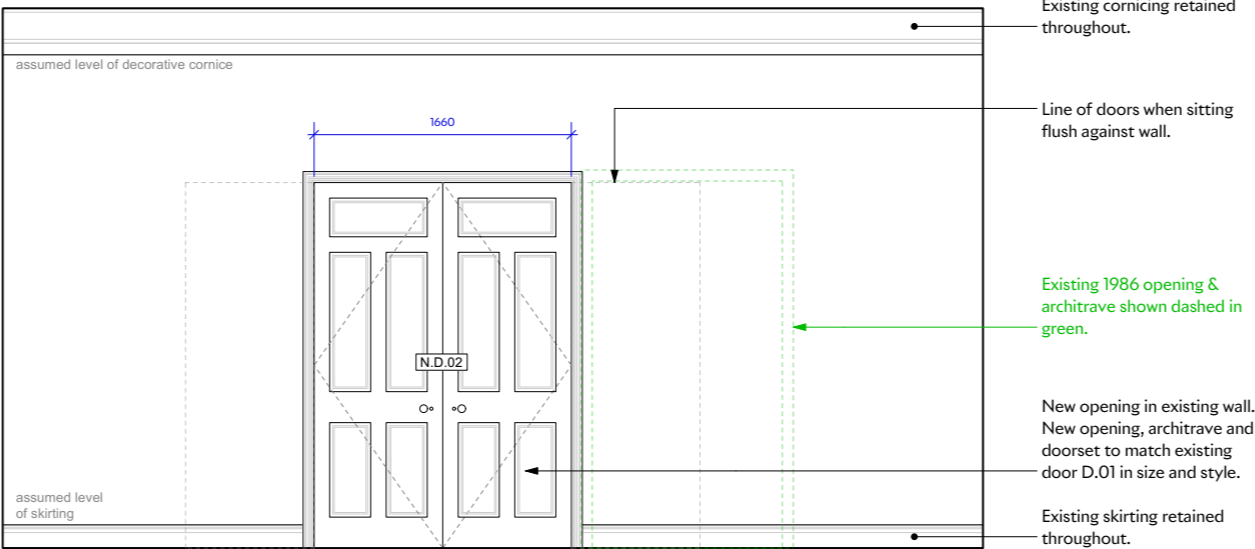


Fig.125 - Proposed Ground Floor Elevation A

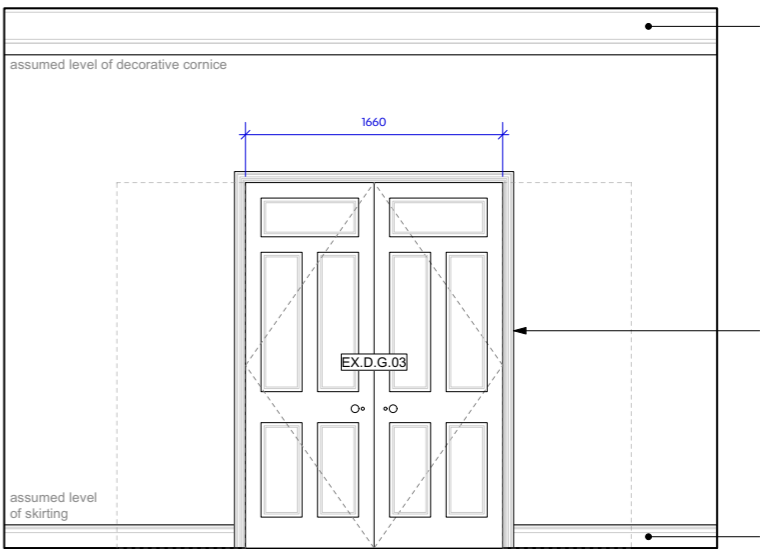


Fig.126 - Proposed Ground Floor Elevation B

4.0 DESIGN PROPOSAL

4.1.3 FIRST FLOOR PROPOSAL

Works to the first floor include:

- Replacement of existing windows; same style and proportion to be retained. New Victorian style sash windows with slimline glazing proposed.
- Removal of non original partition between room F2 and F3
- Removal of non original partition between room F3 and F4
- Reduce opening on non original wall between F1 and F2
- Additional opening added between rooms F1 and F6 - to match style and proportions of existing door to F1.
- Non original fireplace surround to be removed from room F3
- Removal of all modern joinery and modern sanitarware.
- Modern floor finishes to be removed existing floor boards to be retained

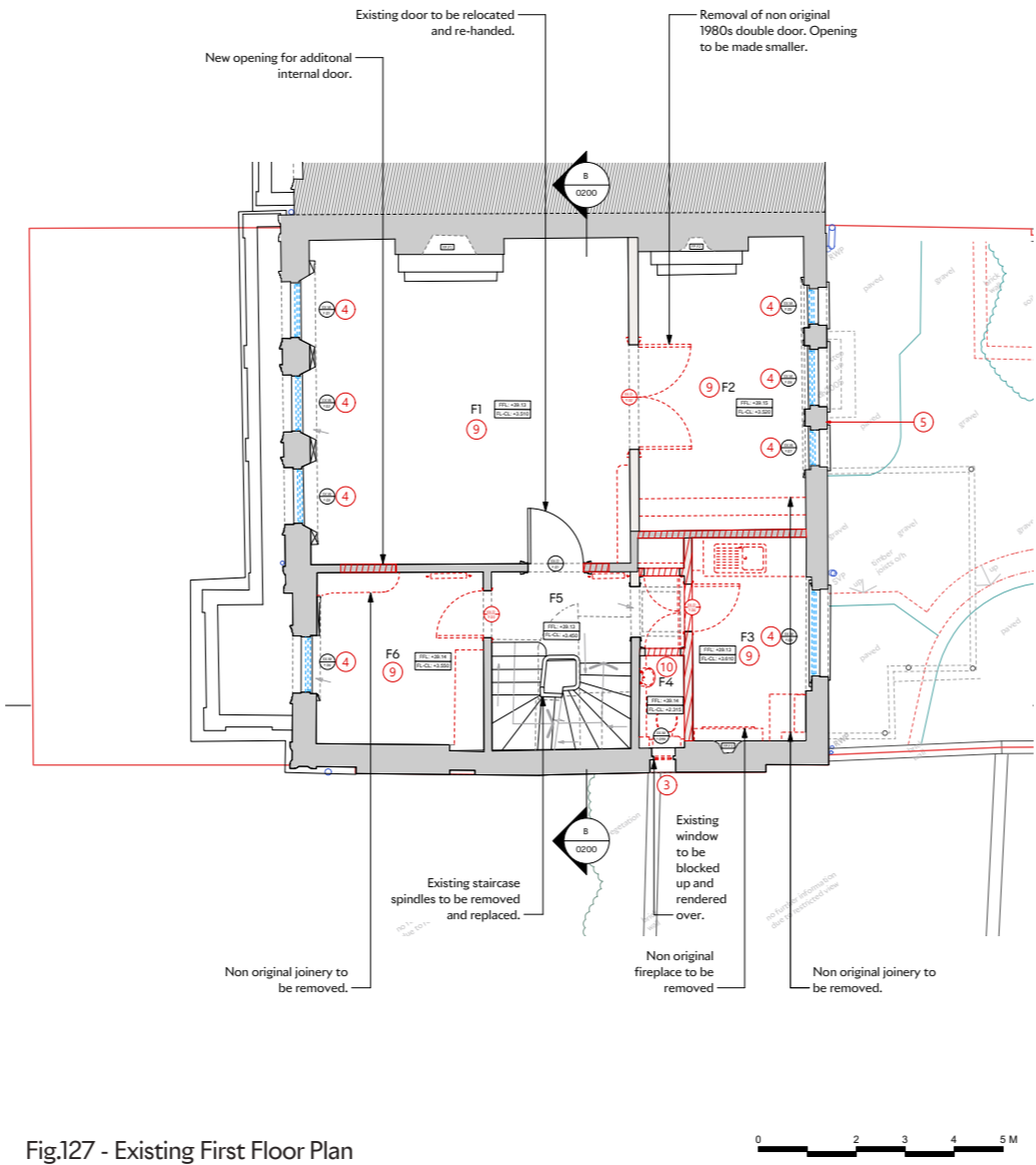


Fig.127 - Existing First Floor Plan

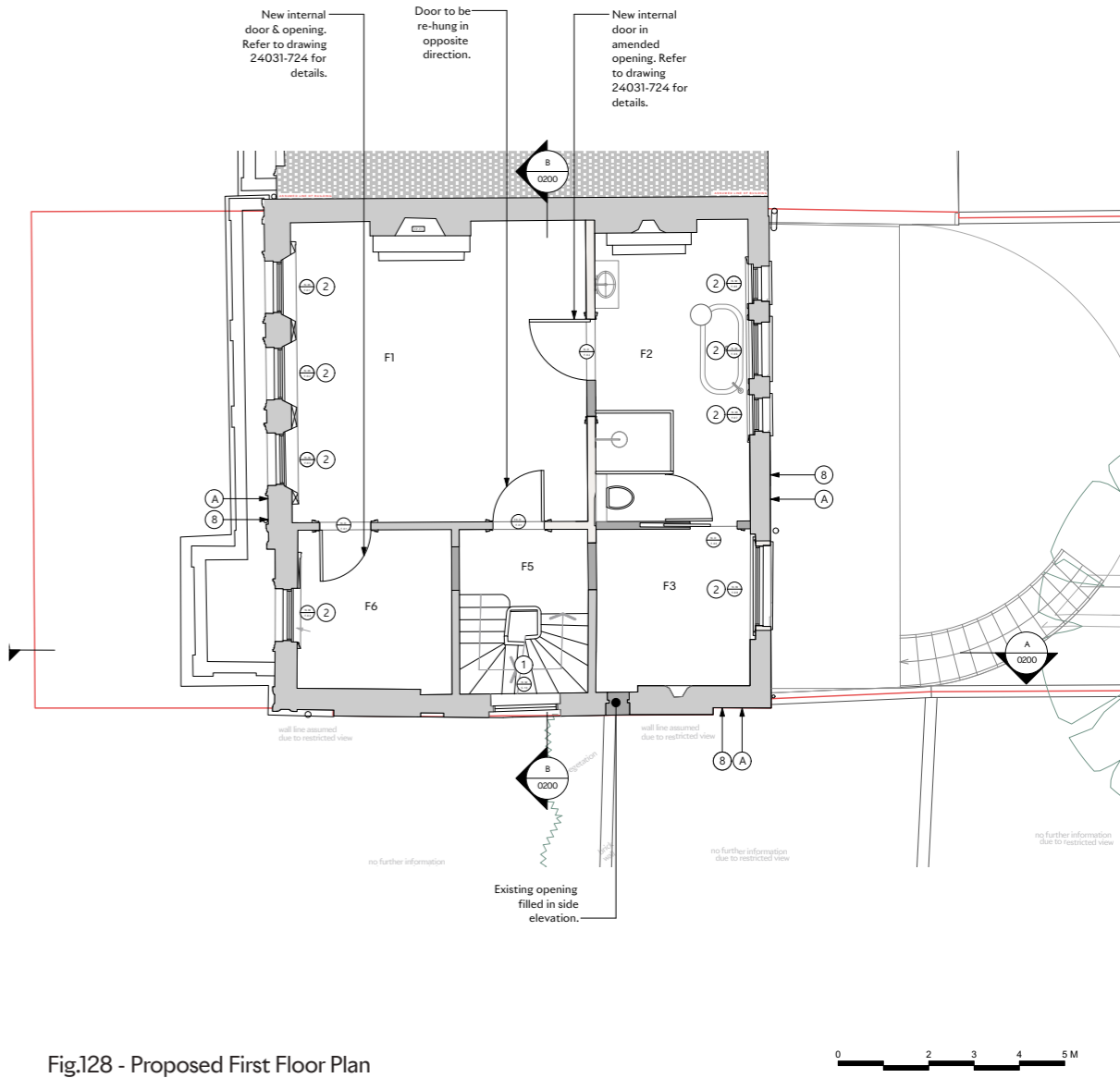


Fig.128 - Proposed First Floor Plan

4.0 DESIGN PROPOSAL

4.1.3 FIRST FLOOR PROPOSAL CONT'

The existing double door opening between rooms F1 and F2 was added in the late 1980s. Its style clearly differs from the historic door EX.D.01. We are proposing to reduce the size of this existing opening to a single door; to match the style and proportion of door EX.D.01

We are proposing an additional opening between rooms F1 and F6; again in the same style and proportion of door EX.D.01.

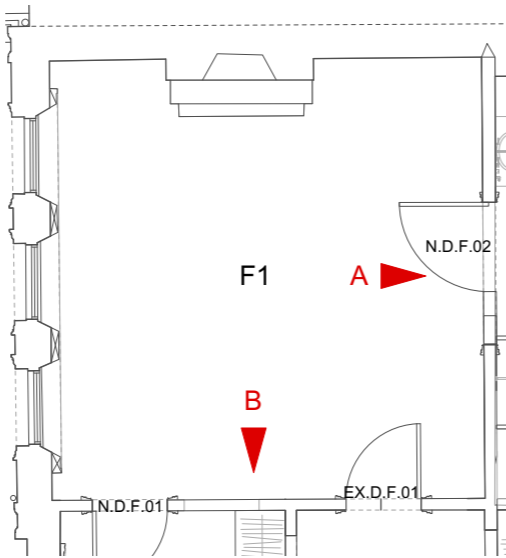


Fig.129 - Proposed First Floor Plan

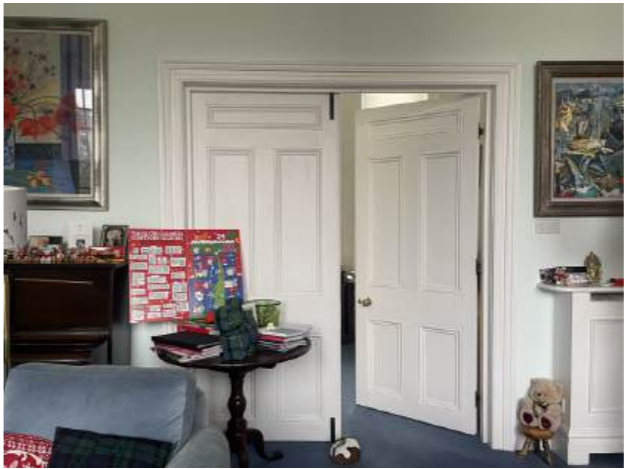


Fig.130 - Existing door EX.D.03



Fig.131 - Existing door EX.D.01

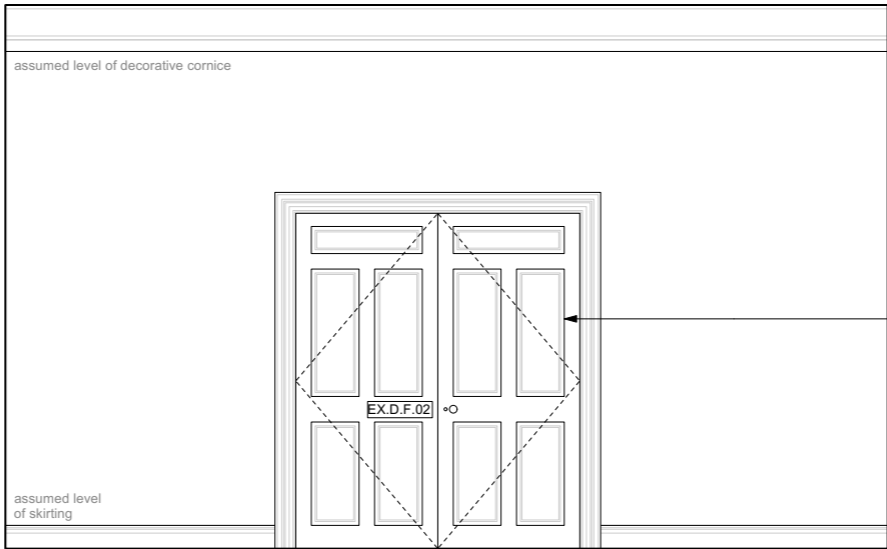


Fig.132 - Existing First Floor Elevation A

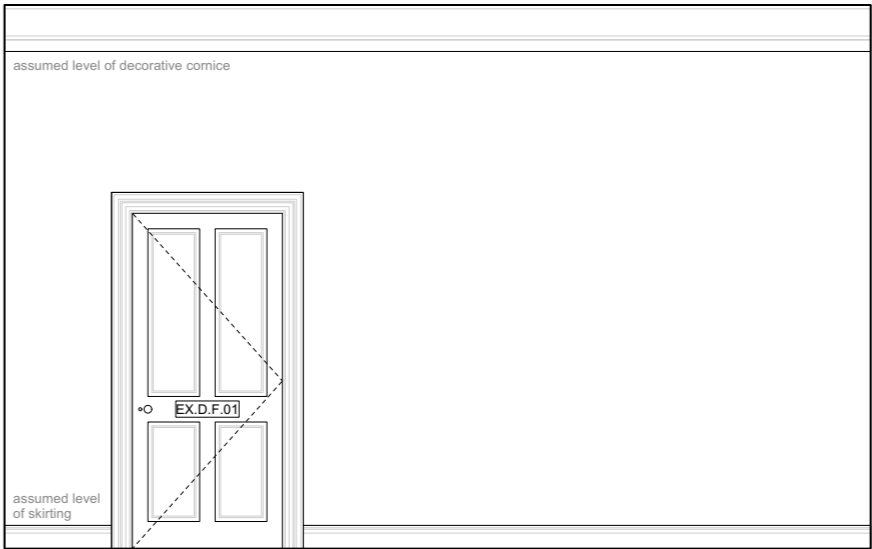


Fig.133 - Existing First Floor Elevation B

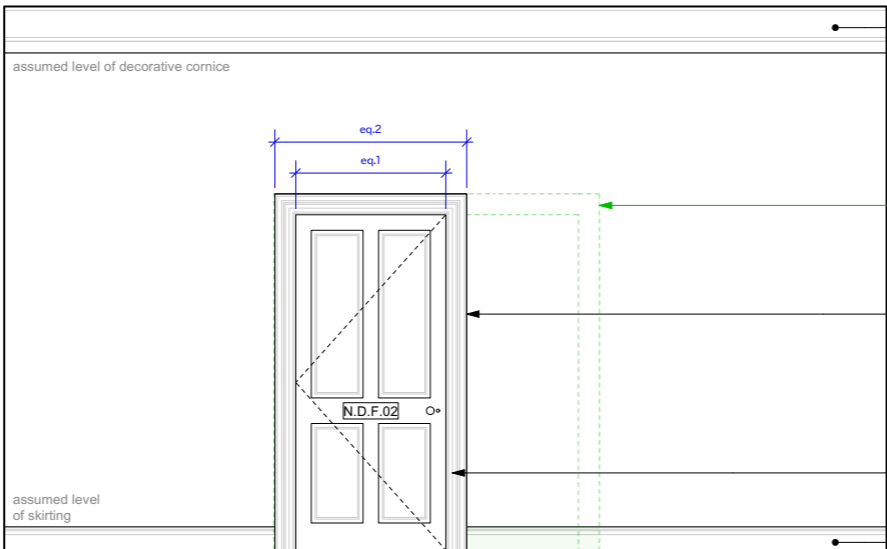


Fig.134 - Proposed First Floor Elevation A

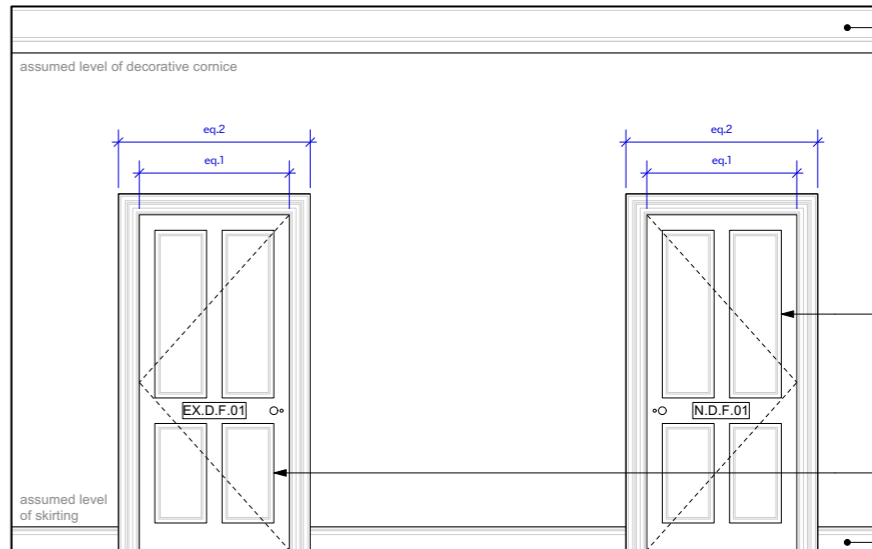


Fig.135 - Proposed First Floor Elevation B

4.0 DESIGN PROPOSAL

4.1.4 SECOND FLOOR PROPOSAL

Works to the first floor include:

- Replacement of existing windows; same style and proportion to be retained. New Victorian style sash windows with slimline glazing proposed.
- Removal of non original partition in room S4 / S3
- Removal of non original partition in Room S5
- Block up wall and door to cupboard next to S5
- Block up wall and door between rooms S2 and S3 - use existing opening to hallway to access S3.
- Existing window to staircase to be altered; opening to be widen to form an arched window to staircase.
- New stud partitions to S5
- Modern floor finishes to be removed
existing floor boards to be retained

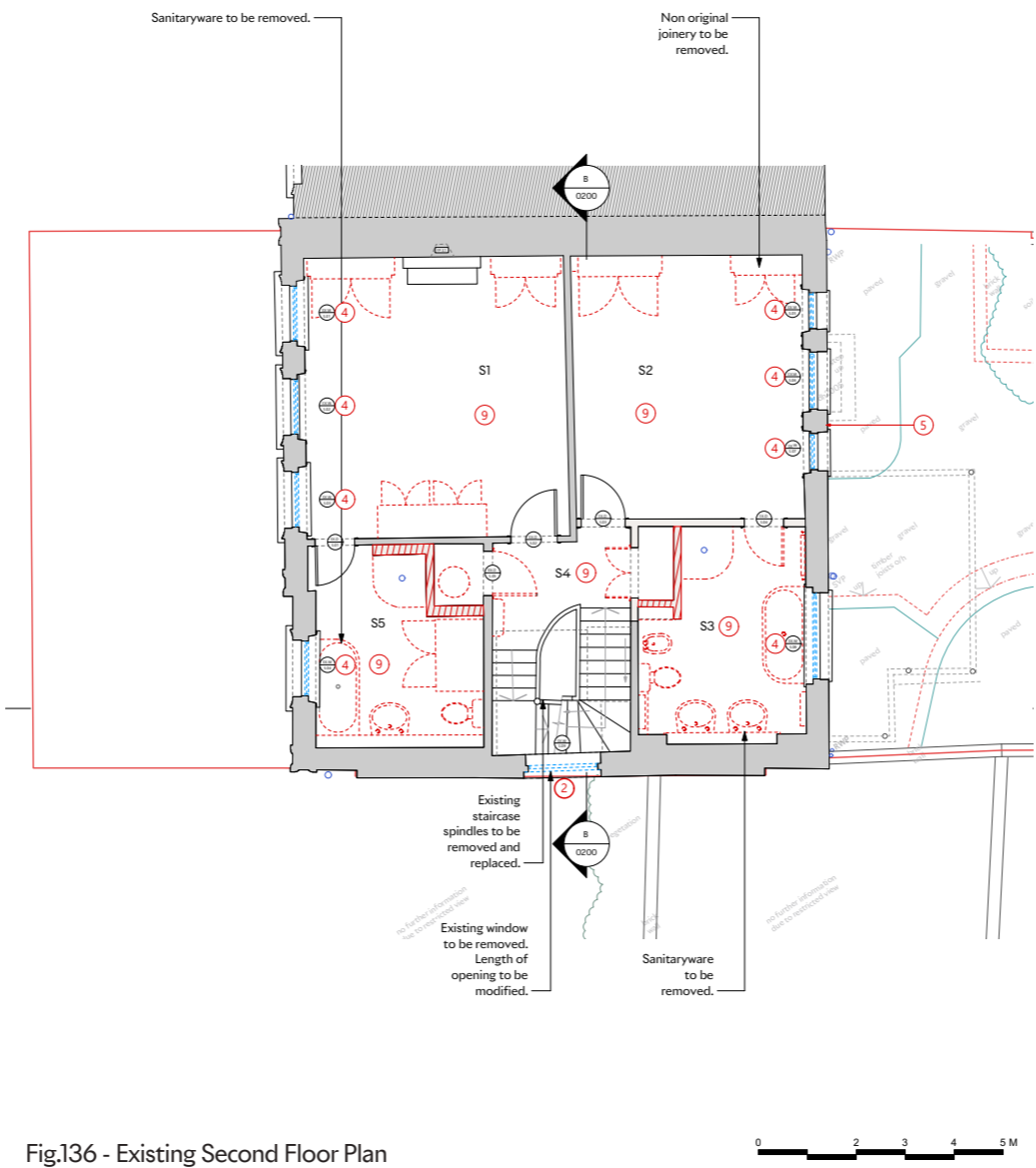


Fig.136 - Existing Second Floor Plan

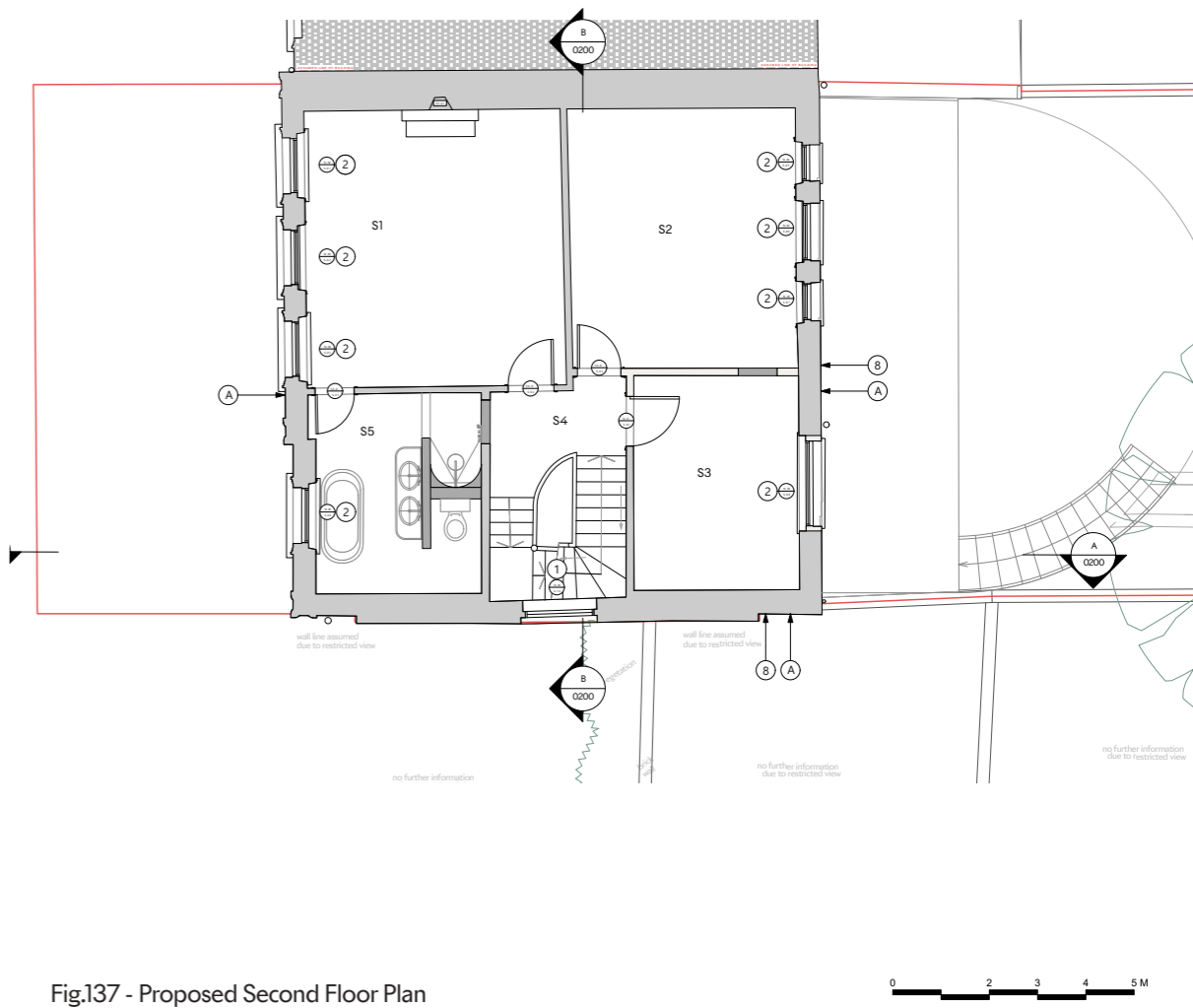


Fig.137 - Proposed Second Floor Plan

4.0 DESIGN PROPOSAL

4.1.5 THIRD FLOOR PROPOSAL

Works to the first floor include:

- Replacement of existing windows; same style and proportion to be retained. New Victorian style sash windows with slimline glazing proposed.
- Removal of non original partitions in room T6; replace with new partitions
- Removal of non original partition between room T3 and T4; replace with new partitions
- Removal of all modern joinery
- Removal of non original wall to top of staircase; to be replaced with balustrade
- Existing window to staircase to be altered; opening to be widen to form an arched window to staircase.
- New rooflights to front roof / room T1

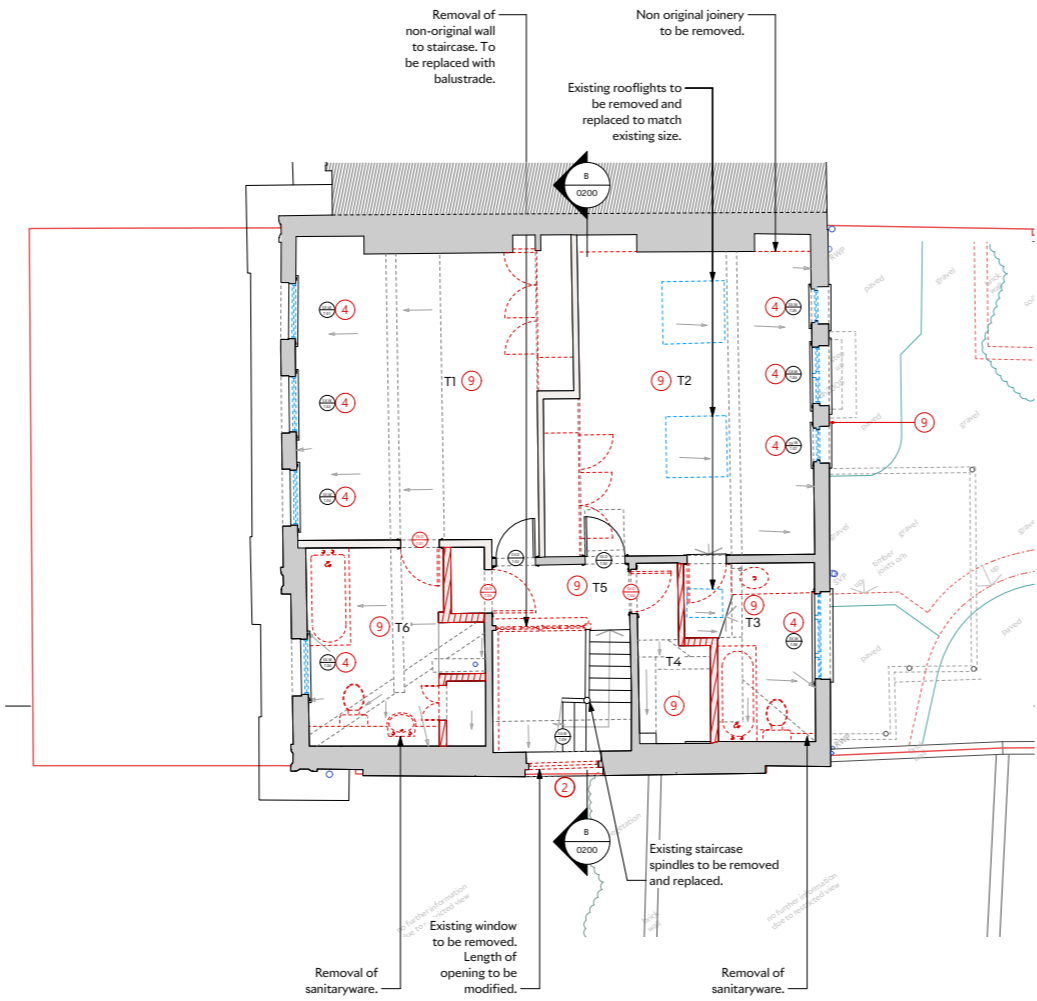


Fig.138 - Existing Third Floor Plan

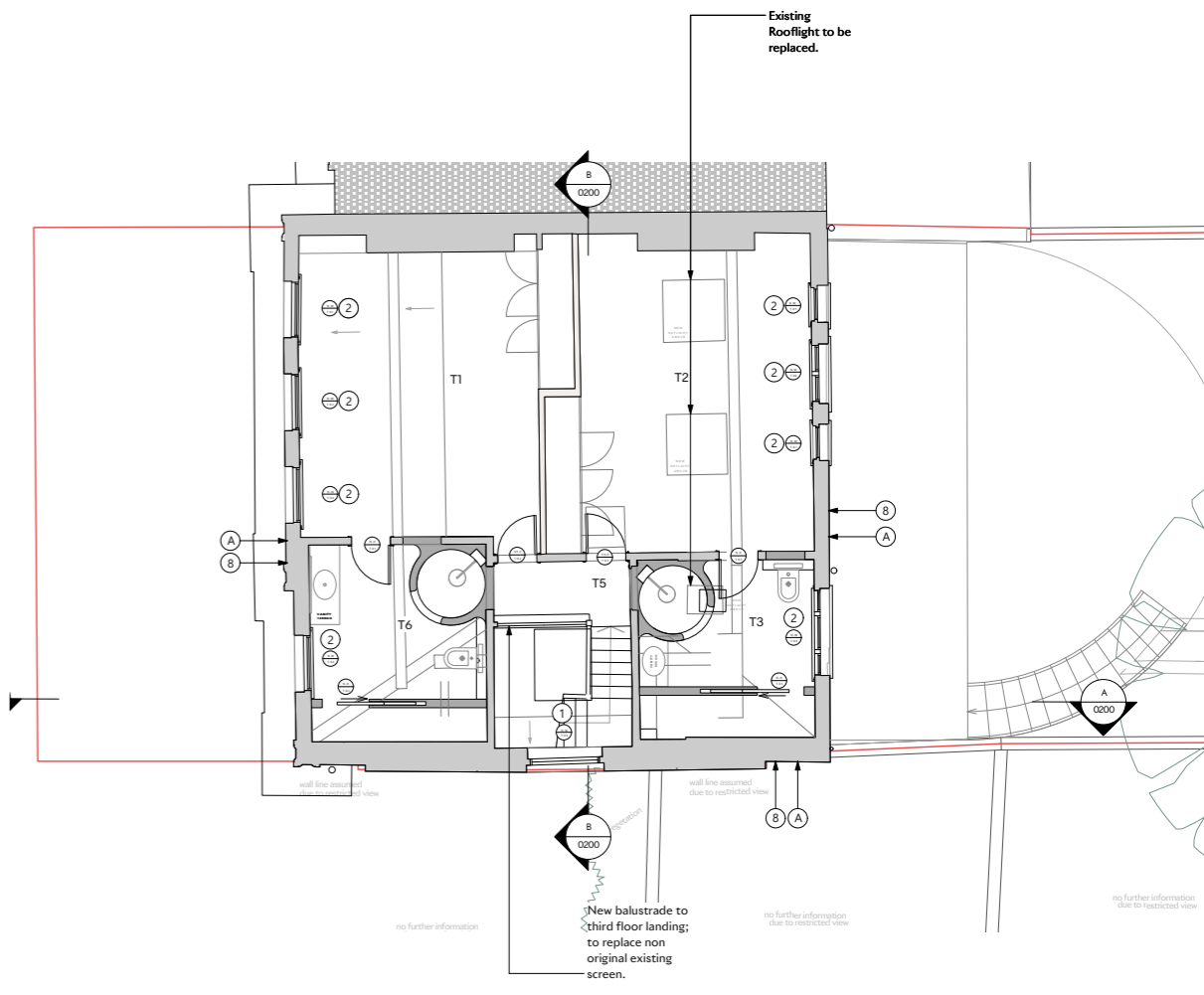


Fig.139 - Proposed Third Floor Plan

4.0 DESIGN PROPOSAL

4.1.6 FRONT ELEVATION PROPOSAL

Works to the front elevation include:

- Replacement of existing windows; same style and proportion to be retained. New Victorian style sash windows with slimline glazing proposed.
- Retention & refurbishment of existing railings
- Replacement of existing roof coverings and lead where necessary. All new roofing materials to match existing.
- Existing render finish to be cleaned & repainted



Fig.140 - Existing & Demolition Front Elevation - NW



Fig.141 - Proposed Front Elevation - NW

4.0 DESIGN PROPOSAL

4.1.7 REAR ELEVATION PROPOSAL

Works to the rear elevation include:

- Replacement of existing windows. New Victorian style sash windows with slimline glazing proposed.
- Replacement of existing GF balcony, balustrade & external staircase.
- Replacement of 3 rooflights to rear elevation - new conservation rooflights proposed.
- Replacement of existing roof coverings and lead where necessary. All new roofing materials to match existing.



Fig.142 - Existing & Demolition Rear Elevation - SE



Fig.143 - Proposed Rear Elevation - SE

4.0 DESIGN PROPOSAL

4.1.8 SIDE ELEVATION PROPOSAL

Works to the side elevation include:

- New windows to side elevation. Existing circular openings altered to house 2 arched windows.
- Circular blind indentations to be blocked up & rerendered.
- Replacement of existing 1980s GF balcony, balustrade & external staircase with modern alternative.
- Existing render finish to be cleaned & repainted
- Replacement of existing roof coverings and lead where necessary. All new roofing materials to match existing.

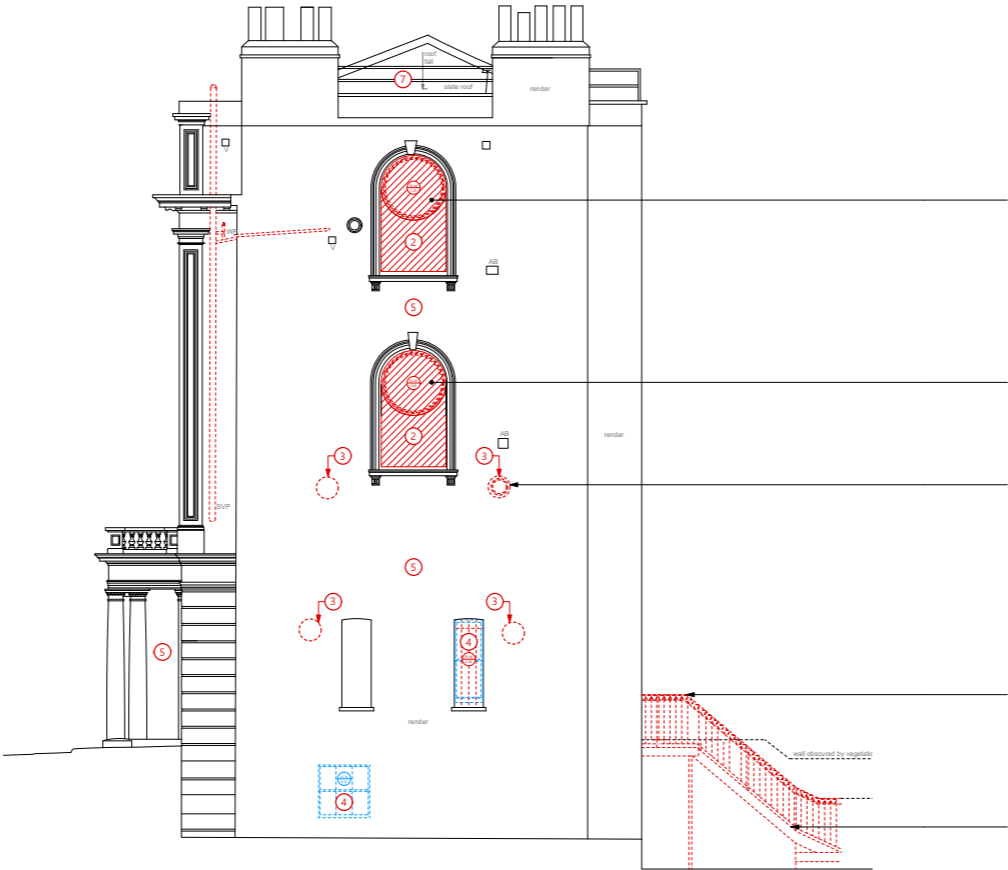


Fig.144 - Existing & Demolition Side Elevation - SW

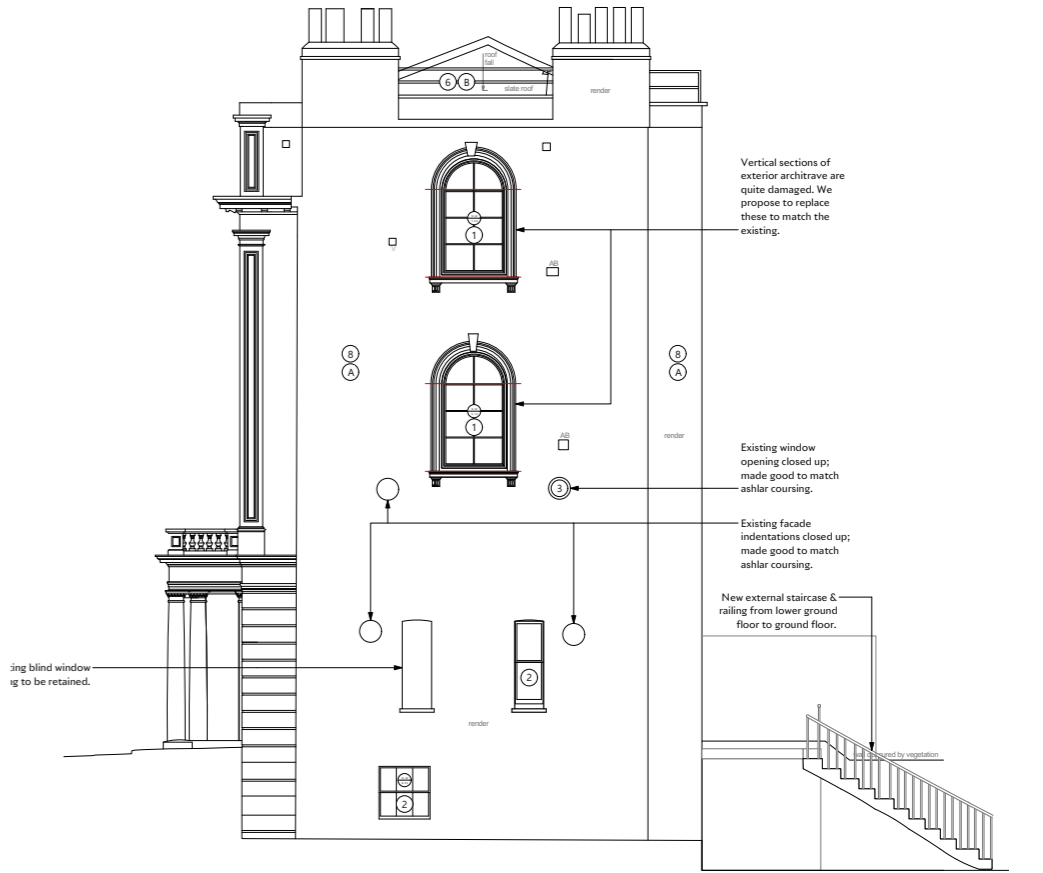


Fig.145- Proposed Side Elevation - SW



4.0 DESIGN PROPOSAL

4.2 ALTERATIONS TO FENESTRATION

There are two large circular windows on the side elevation of 15 Chalcot square. Our proposal seeks to alter the current portion of blind window beneath the circular window frames to create two large arched windows on this elevation.

The existing circular windows have been replaced sometime in the mid to late 20th Century. The original windows seen in the 1968 photo and 1986 elevation provided shows a highly decorative circular window with glazing bars. The current windows found on site feature no glazing bars.

Our proposal seeks to alter the existing openings on the staircase; extending them to make a longer arched window profile. This will bring more light into the staircase that will filtered down each floor.

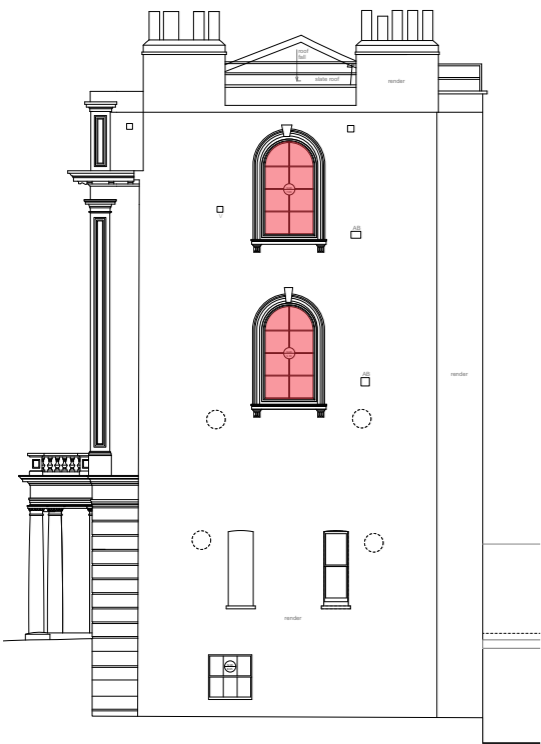


Fig.146
Proposal; new windows to side elevation



Fig.147
Existing window condition; internally & externally

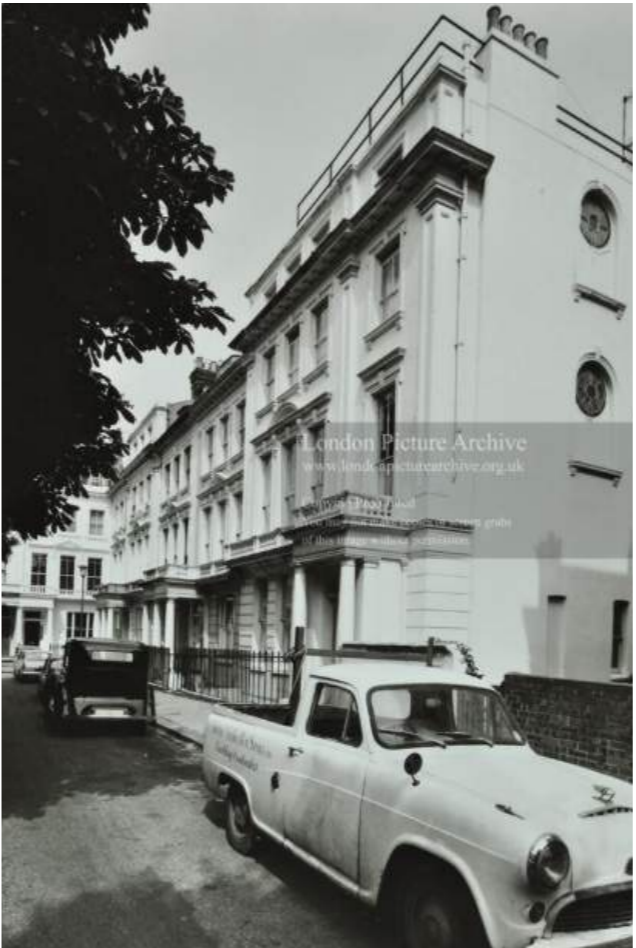


Fig.148
London Picture Archive; 1968 Photo featuring front & side elevation of No. 15 Chalcot Square

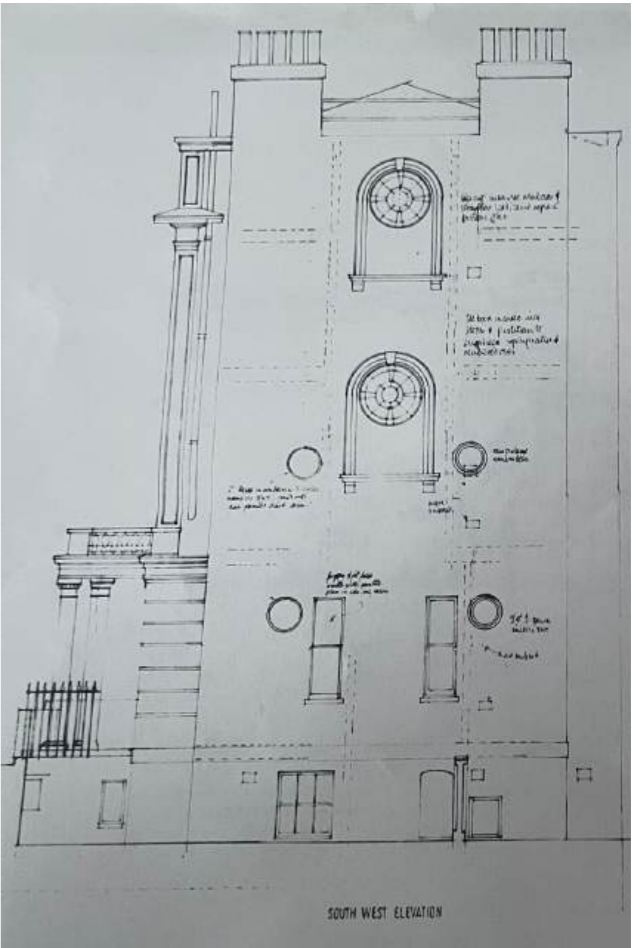


Fig.149 1986 Elevation of 15 Chalcot Square from Camden Archives



Fig.150
Deterioration of existing stucco work



Fig.151
Existing modern circular window



Fig.152
Deterioration of existing window frames

4.0 DESIGN PROPOSAL

4.3 NEW WINDOWS

The renovation of windows and doors at 15 Chalcot Square provides an opportunity to upgrade the thermal elements in a way that is sensitive to the architecture and its location in the Primrose Hill Conservation Area.

Acknowledging the heritage of the building, we propose new heritage sash windows to match the historical detailing of the existing fabric whilst reducing the impact of the building in light of the climate crisis. The new frames will be glazed with slimline glass. This will enhance the thermal performance of the dwelling with an aesthetic of single-glazing owing to the make-up of the evacuated panes.

The architectural detailing, profiles, and beads are able to replicate a heritage window whilst ensuring vastly improved U-Values.

The rear elevation fenestration has been altered over the years. This ranges from replacing windows in existing openings to altering (narrowing; extending) openings and adding new openings in the late 1980s and 1990s - this is outlined in detail earlier in this document. Supporting info can be found in the Appendix to the rear of this document.



Fig. 153 Replacement of existing single-glazed windows with new timber frame windows with slimline glass. New windows to be exact replica of existing.



Fig.154 Replacement of existing single-glazed windows with new timber frame windows with slimline glass. New windows to be in style appropriate to existing building.

4.0 DESIGN PROPOSAL

4.4 UNDERFLOOR HEATING

Our proposal seeks to take a sustainable approach to heating by installing Underfloor Heating throughout the building. We intend to install the underfloor heating in between the existing joists.

The implementation of UFH would not only modernize the building and improve its environmental performance, but it would also provide the added benefit of stabilising temperature fluctuations within the property. The assurance of a consistent temperature is beneficial for preserving the historical fabric; reducing the risk for expansion and contraction of plaster, wood and masonry throughout the building. Furthermore, it would contribute to the reduction of condensation and dampness, which are factors that can lead to rot and mould development.

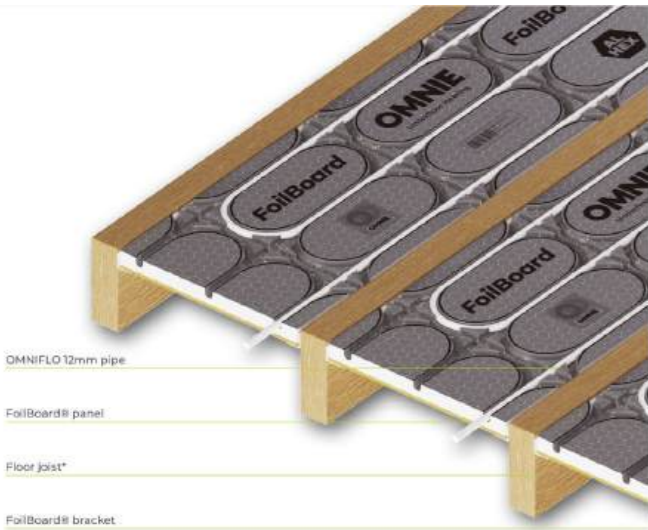


Fig155 - Omni Foilboard

4.5 SUSTAINABILITY / HEATING

Our proposal seeks to replace the existing boiler add two air source heat pumps for internal heating - we see this as a sustainable way of modernising the existing building and meeting modern heating expectations.

The ASHP will be housed in an acoustic enclosure at the rear of the proposed garden room, at the foot of the garden.

We propose two Daikin EBLA-D3V37 units. We have included a noise impact assessment as part of this planning application.



Fig156 - Daikin ELBA-D3V37

4.6 PROPOSED DEVELOPMENT Materials

The council have requested detailed materials to be included as part of this application. Our proposed materials include the following :

Refurbished windows - slimline glazing

New Rooflights - The Rooflight Company “Neo” conservation rooflight

Paint to existing render - Limewash paint

New external railings & staircase - cast iron, painted black.

New Rainwater goods - cast iron, painted to match external walls.

4.0 DESIGN PROPOSAL

4.7 REPAINTING OF FACADE

We propose to alter the external paint colour on the front of the building. The current colour is a bright blue. The proposal is for the repainting of the front elevation of the property apart from the pediments and architrave which will remain white. We propose using limewash paint on the front and side facade. This is a natural product made of clay, lime & natural pigments

that will allow the building to breathe. We have chosen a neutral colour to compliment the neighbouring properties at No 16 and No 14 Chalcot Square.



Existing Render Colour - 15 Chalcot Square



Proposed Render Colour - 15 Chalcot Square



Fig.157 - Proposed Render Texture - Limewash paint

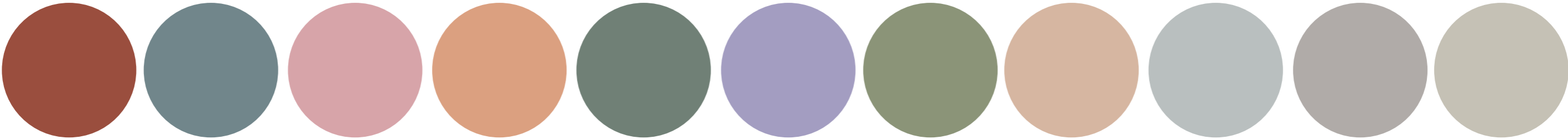


Fig.148 - Existing Render Colour Palette - Surrounding Properties on Chalcot



Fig.158 No 31-33 Chalcot Square



Fig.159 No 20 & 21 Chalcot Square



Fig.160 No 7-10 Chalcot Square



Fig.161 No 12-14 Chalcot Square



Fig.162 No 4-6 Chalcot Square

05. CONCLUSION

6.0 CONCLUSION

5.1 LOCAL PLAN

In line with policy D1 & D2, our proposal intends to retain the existing character of the building, most notably from the exterior.

As the majority of the alterations proposed are inside the building they will not have an impact on the character of the conservation area. The external alterations include the replacement of the existing rear terrace and staircase; these items are not visible from the surrounding streetscape. The proposal of the alteration of the existing round-headed windows to the side elevation is viewed as a positive contribution to the existing building and surrounding streetscape.

In line with policy CC2 our proposal intends to replace the existing boiler add two air source heat pumps for internal heating - we see this as a sustainable way of modernising the existing building and meeting modern heating expectations. The ASHP will be housed in an acoustic enclosure at the rear of the proposed garden room, at the foot of the garden. Our proposal seeks to take a sustainable approach to heating by installing Underfloor Heating throughout the building. We intend to install the underfloor heating in between the existing joists.

5.2 CONCLUSION

Our proposal aims to refurbish the property, making improvements to its basic functionality, upgrading it aesthetically and sustainably whilst ensuring that its historic features are reinstated, preserved and enhanced.

The proposed alterations aim to enhance the living space for the client's family. These alterations will reintroduce elements of the property's original character while preserving the overall character, appearance, and integrity of the building, street scene, and the broader conservation area.

The proposals have been informed by careful study of the existing historic fabric. As determined by the Heritage report prepared by HCUK the proposed development would result in enhancement of the conservation area.

Thank You

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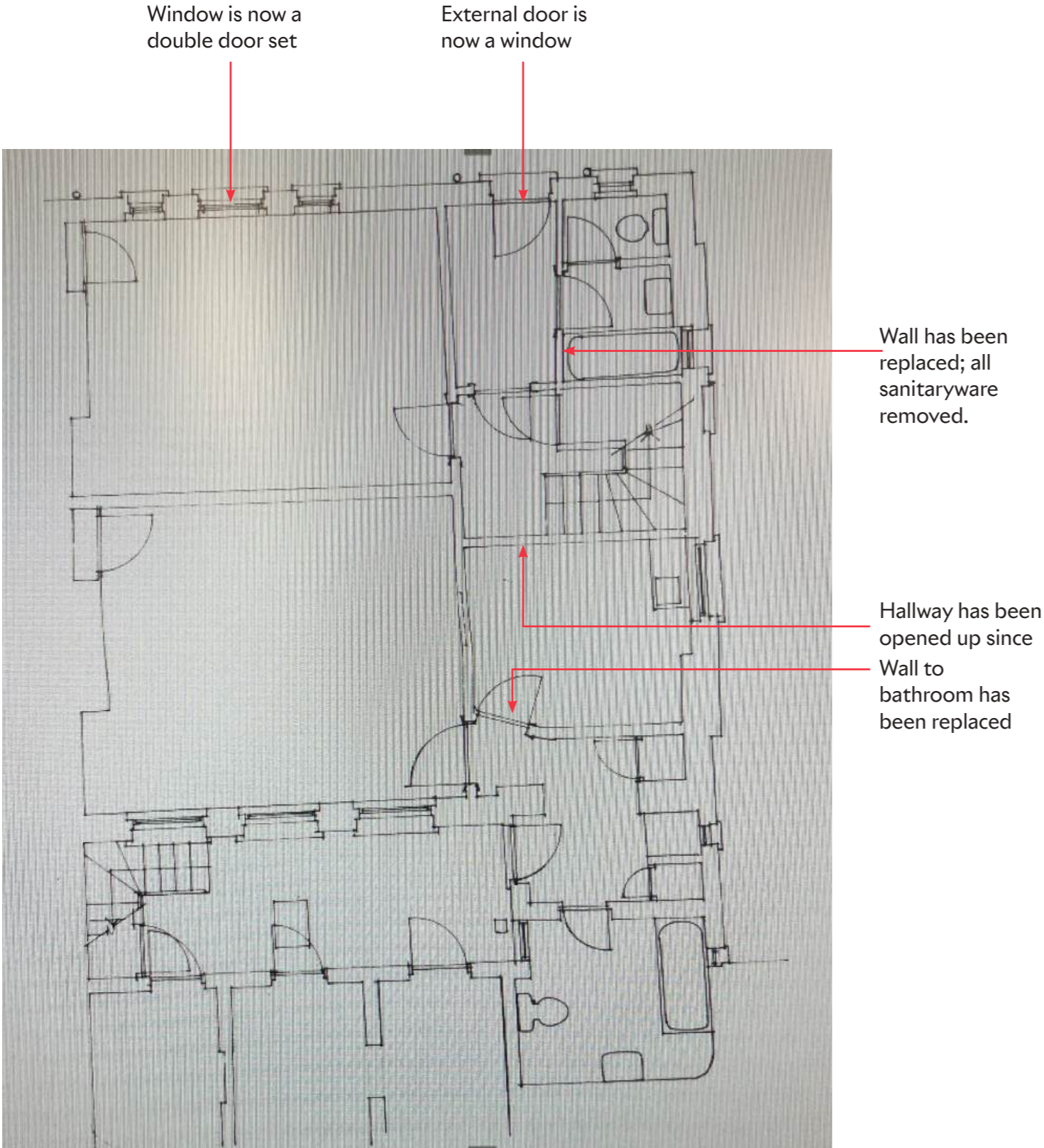


APPENDIX A

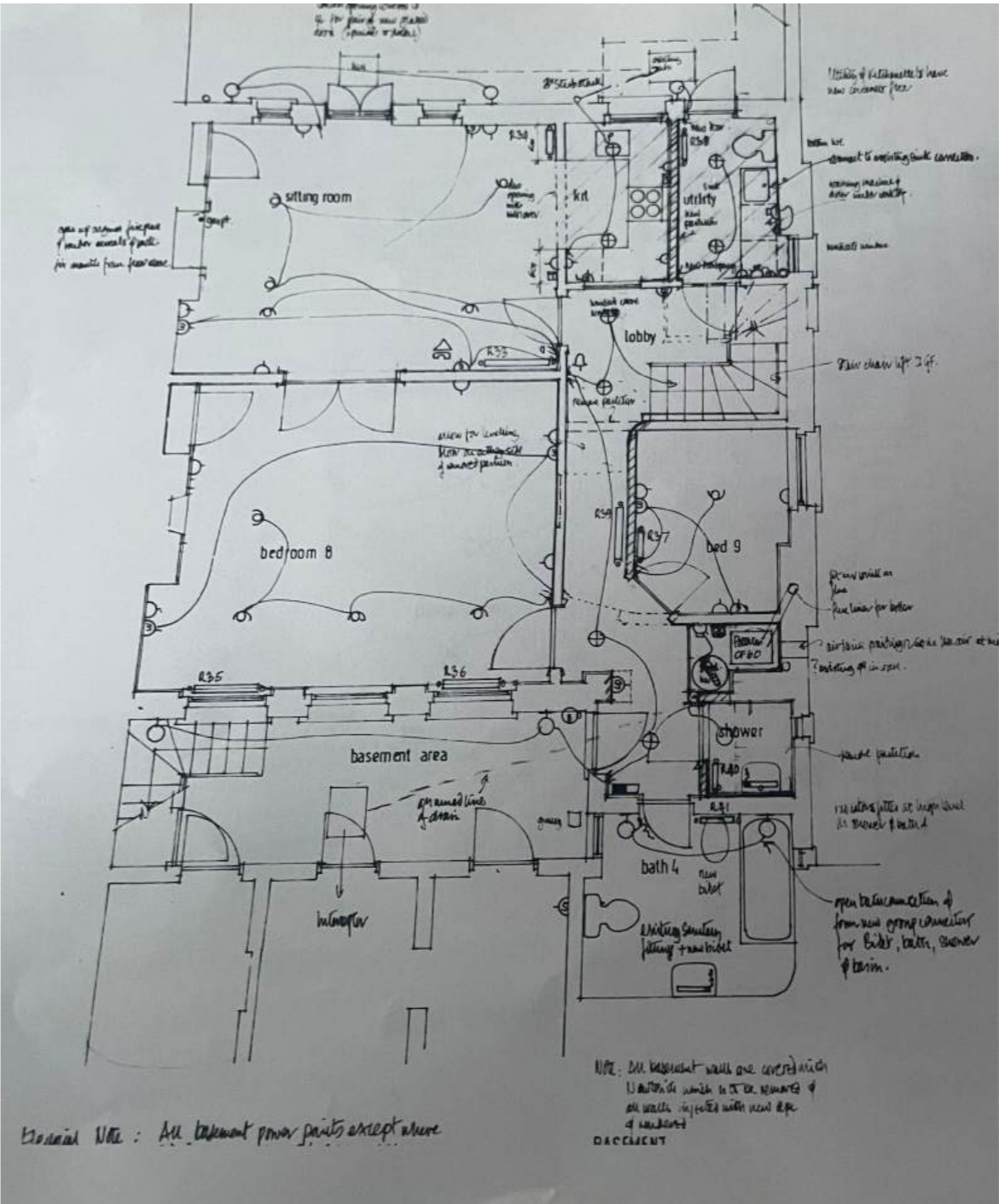
PLANNING APPLICATION INFORMATION OBTAINED FROM CAMDEN
LOCAL STUDIES AND ARCHIVES CENTRE

Appendix A

Lower Ground Floor Plan



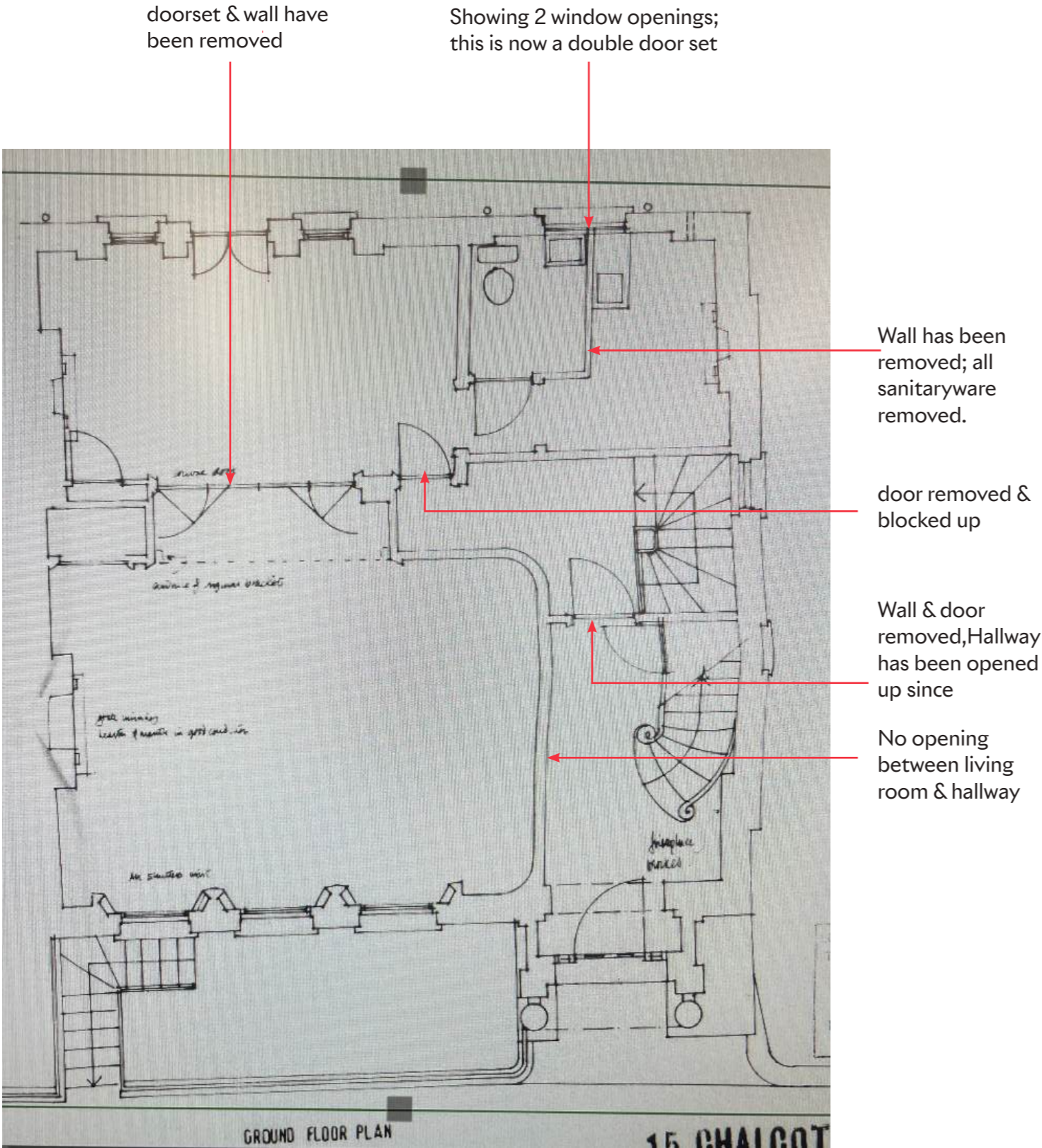
Existing LGF plan from 1986 planning application.



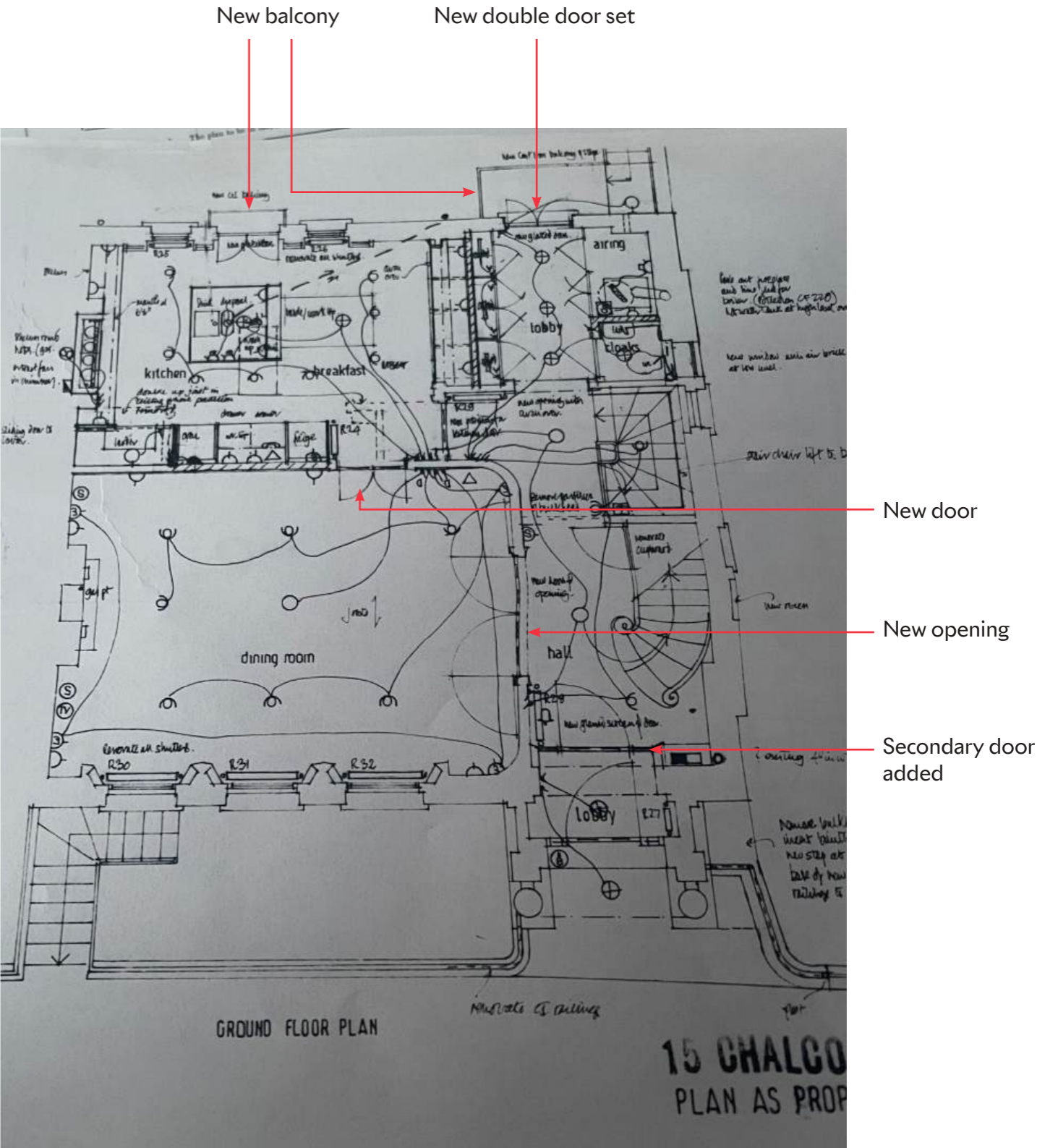
Proposed LGF plan from 1986 planning application.

Appendix A

Ground Floor Plan



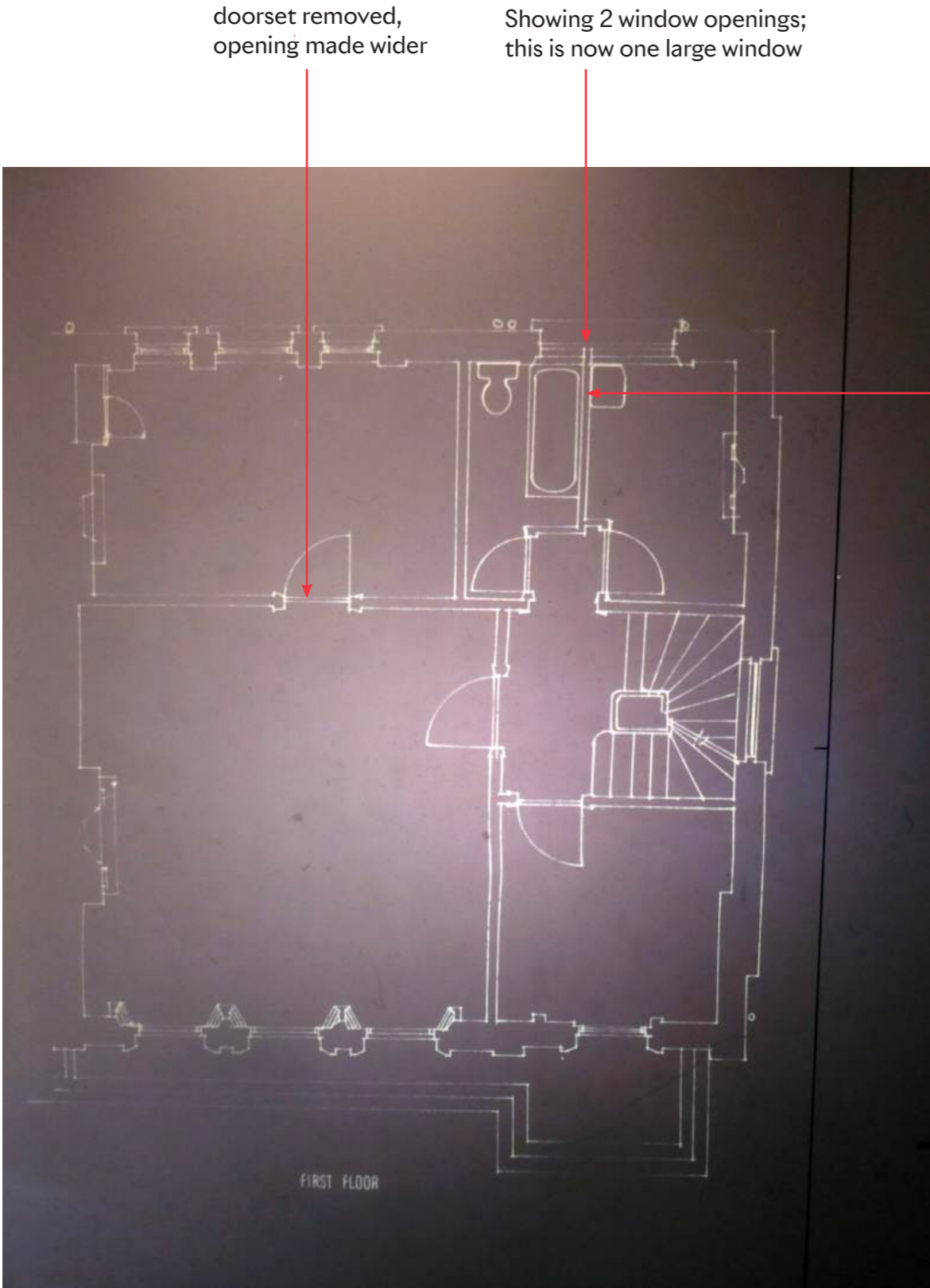
Existing GF plan from 1986 planning application.



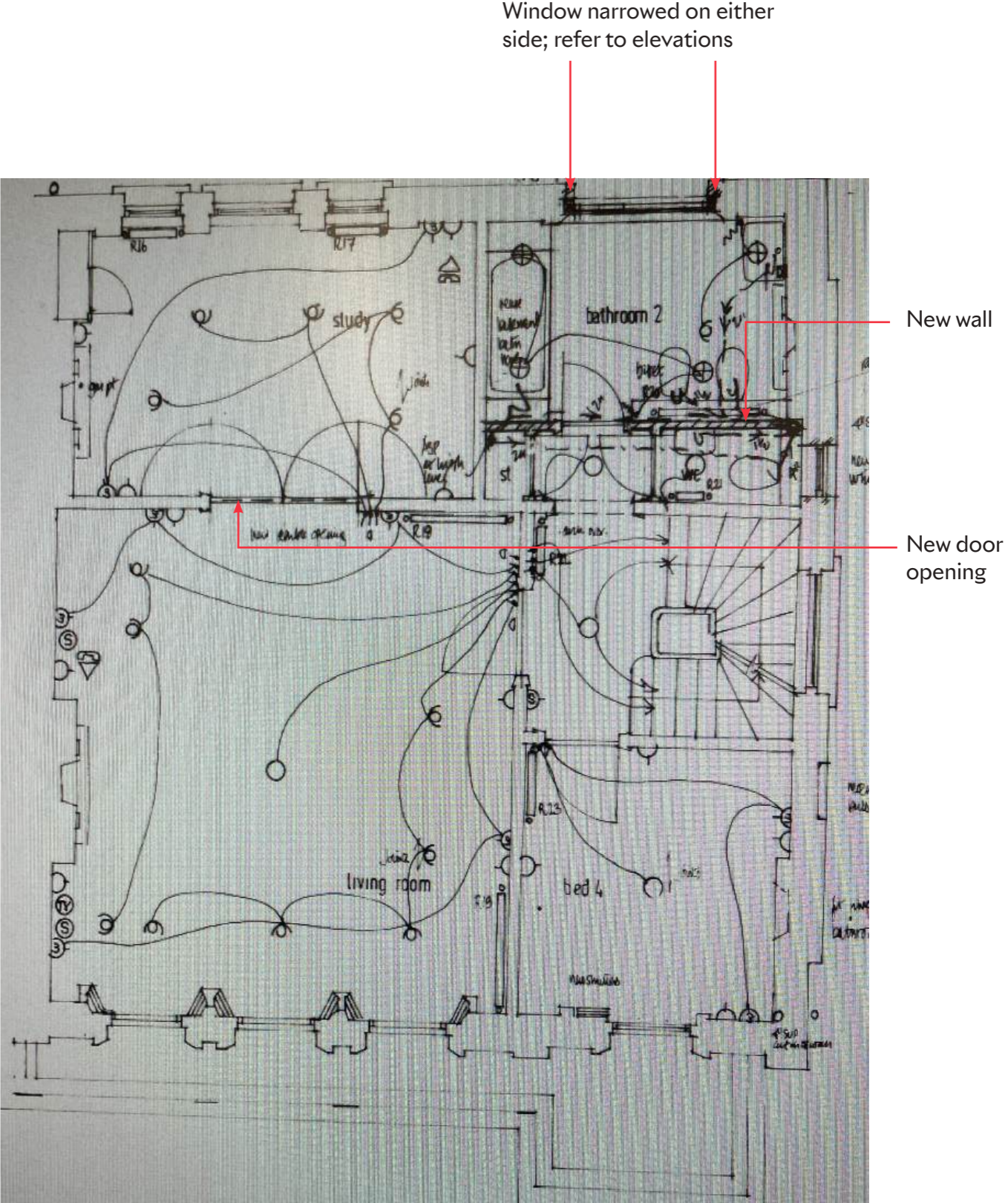
Proposed GF plan from 1986 planning application.

Appendix A

First Floor Plan



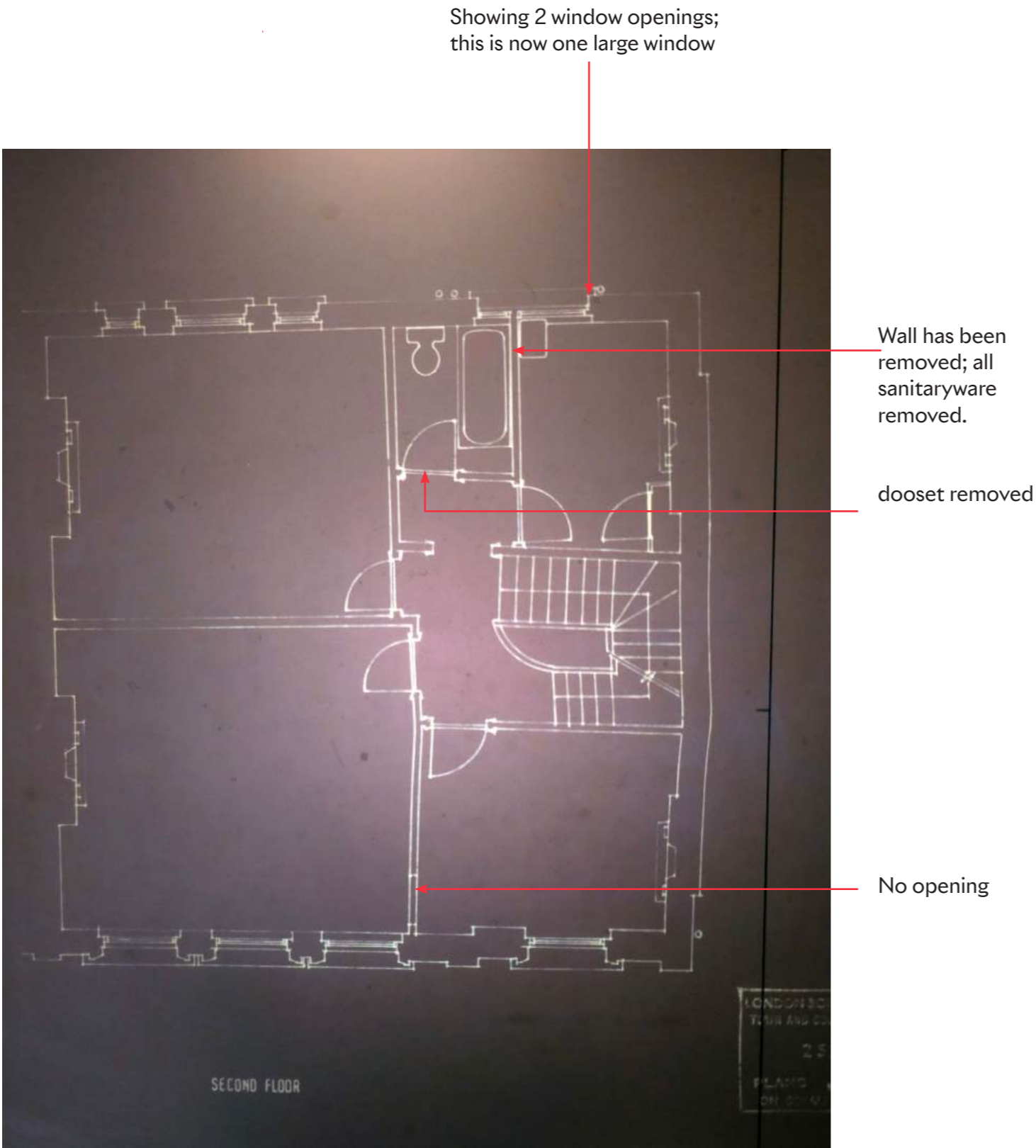
Existing FF plan from 1986 planning application.



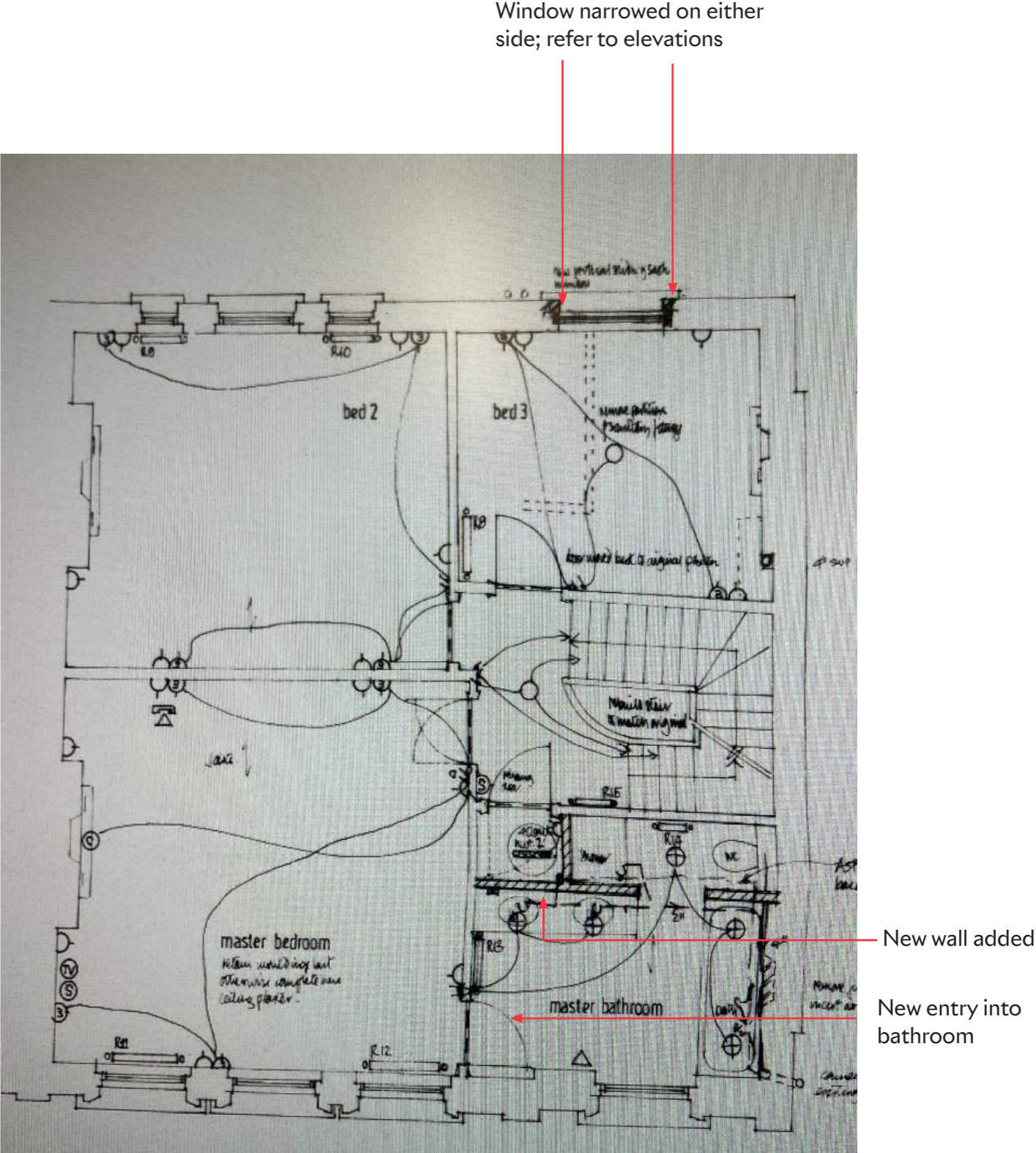
Proposed FF plan from 1986 planning application.

Appendix A

Second Floor Plan



Existing SF plan from 1986 planning application.

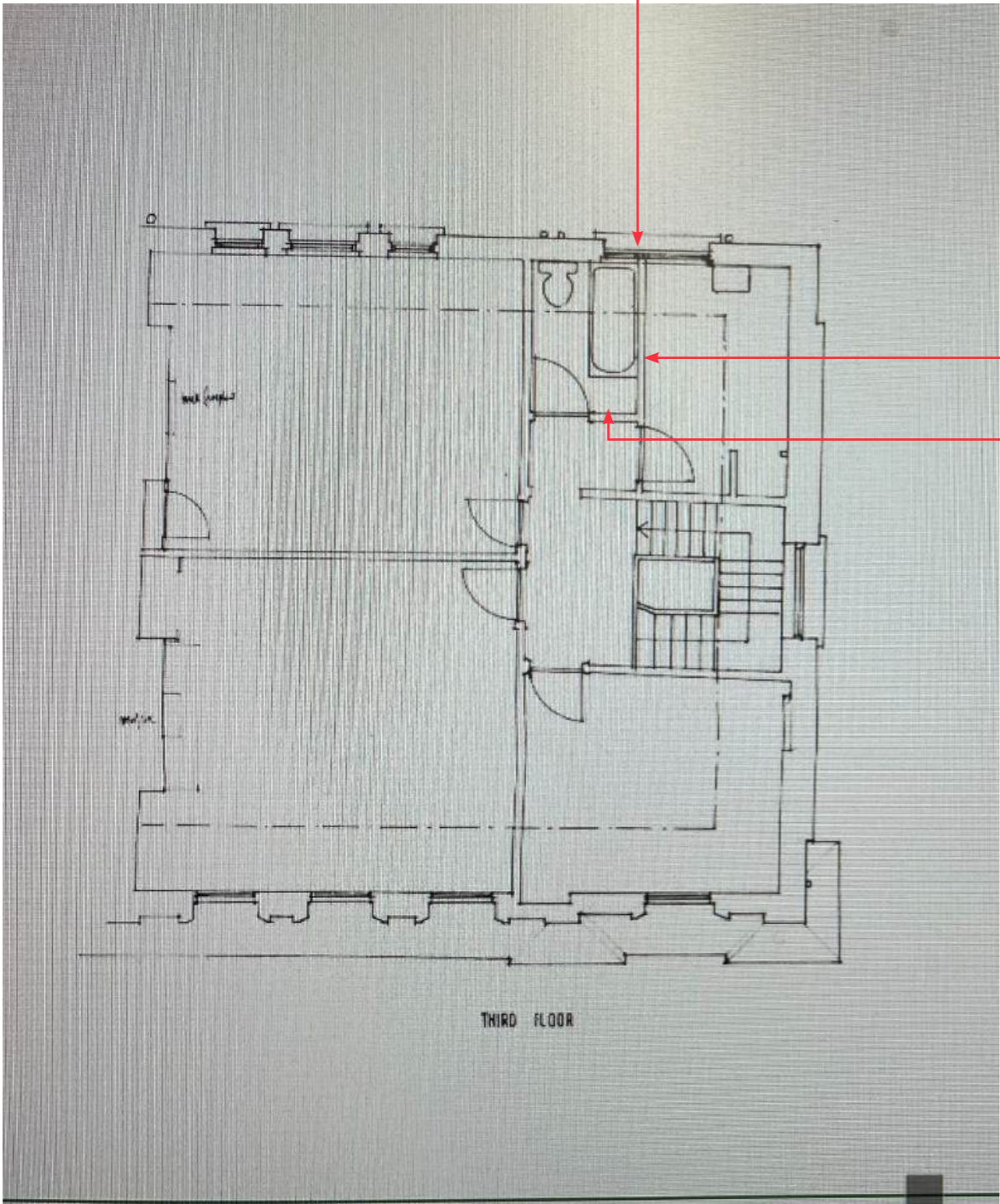


Proposed SF plan from 1986 planning application.

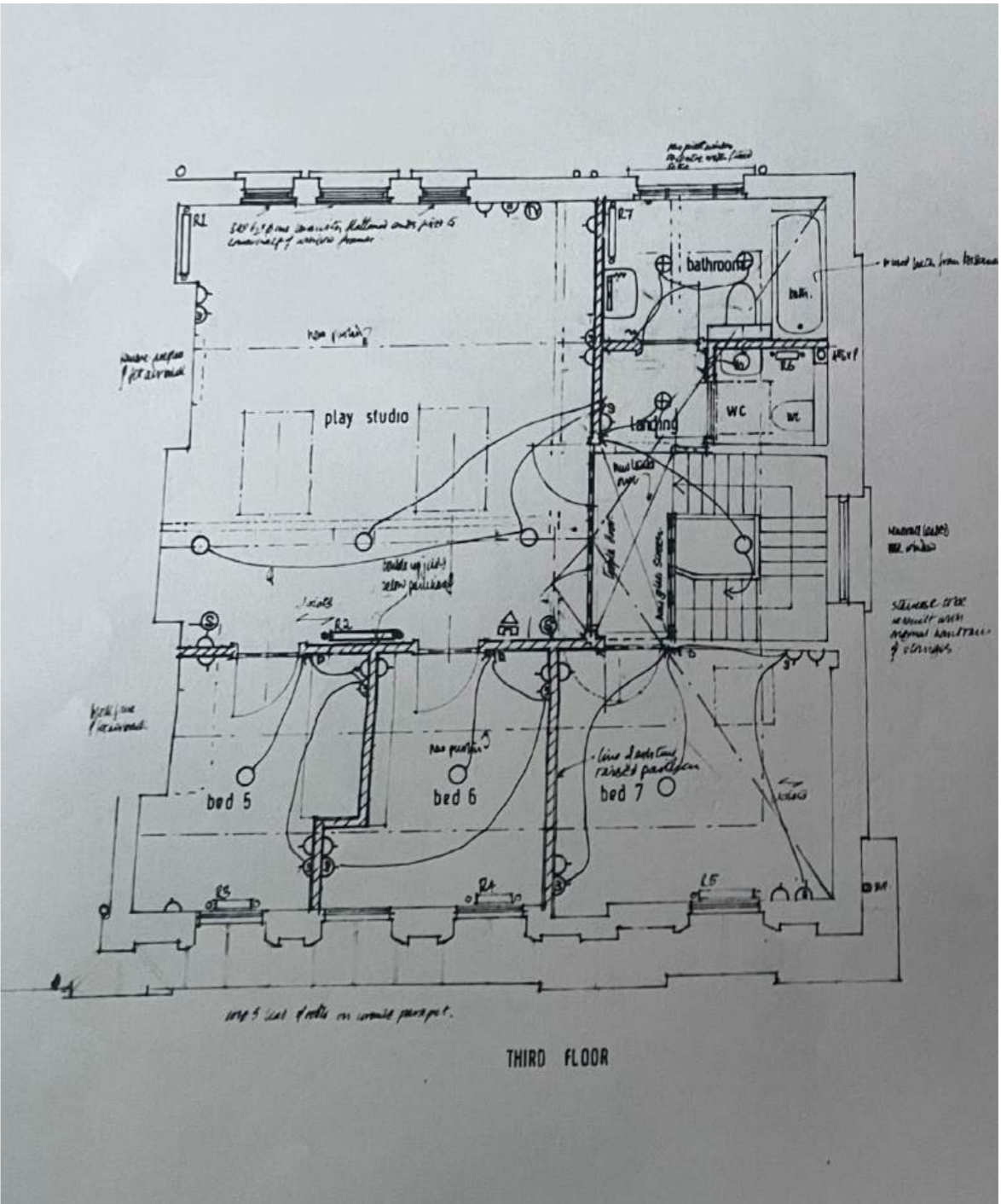
Appendix A

Third Floor Plan

Showing 2 window openings;
where the wall hits



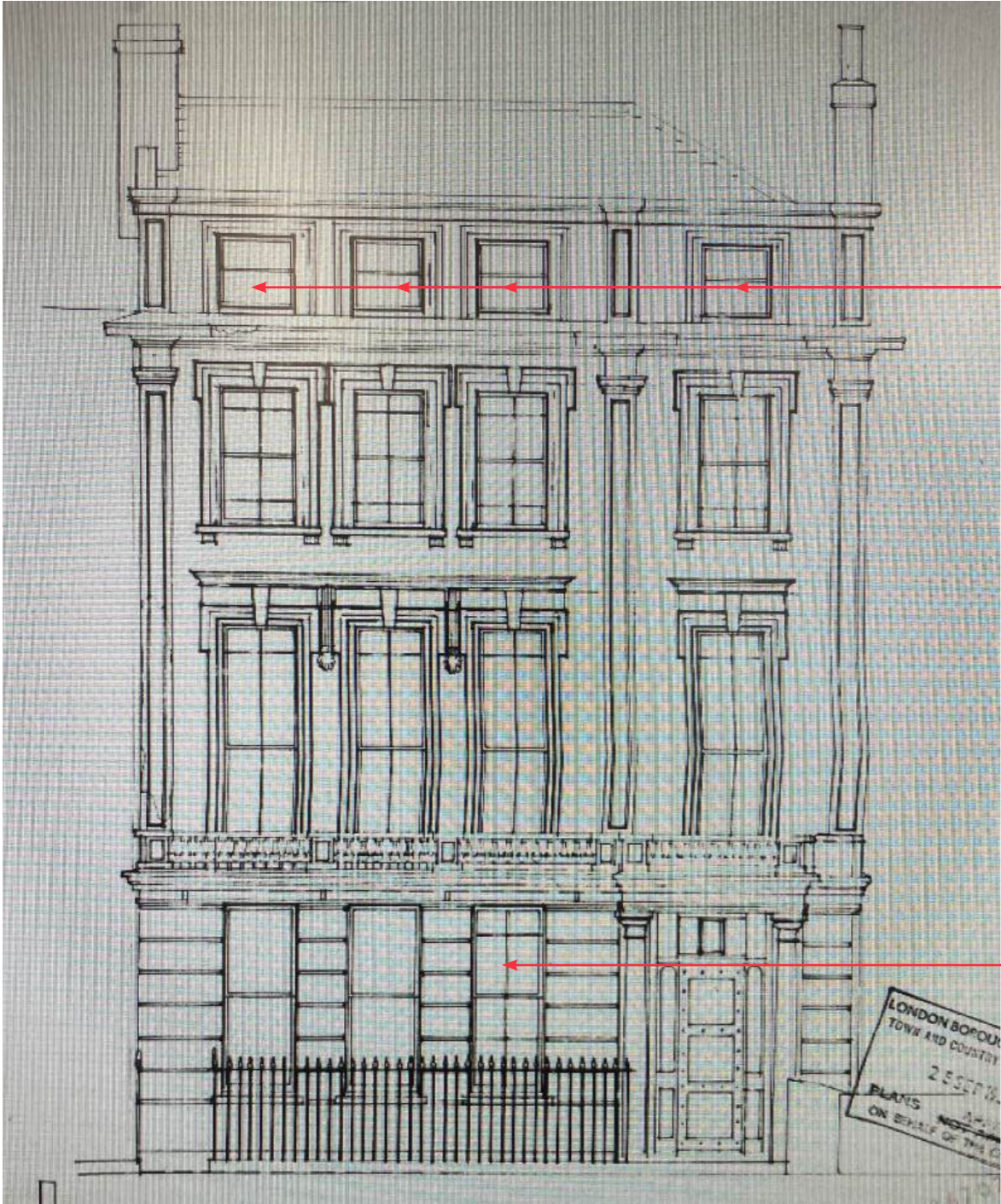
Wall has been removed
Wall has been removed; all
sanitaryware removed.



Existing TF plan from 1986 planning application.

Proposed TF plan from 1986 planning application.

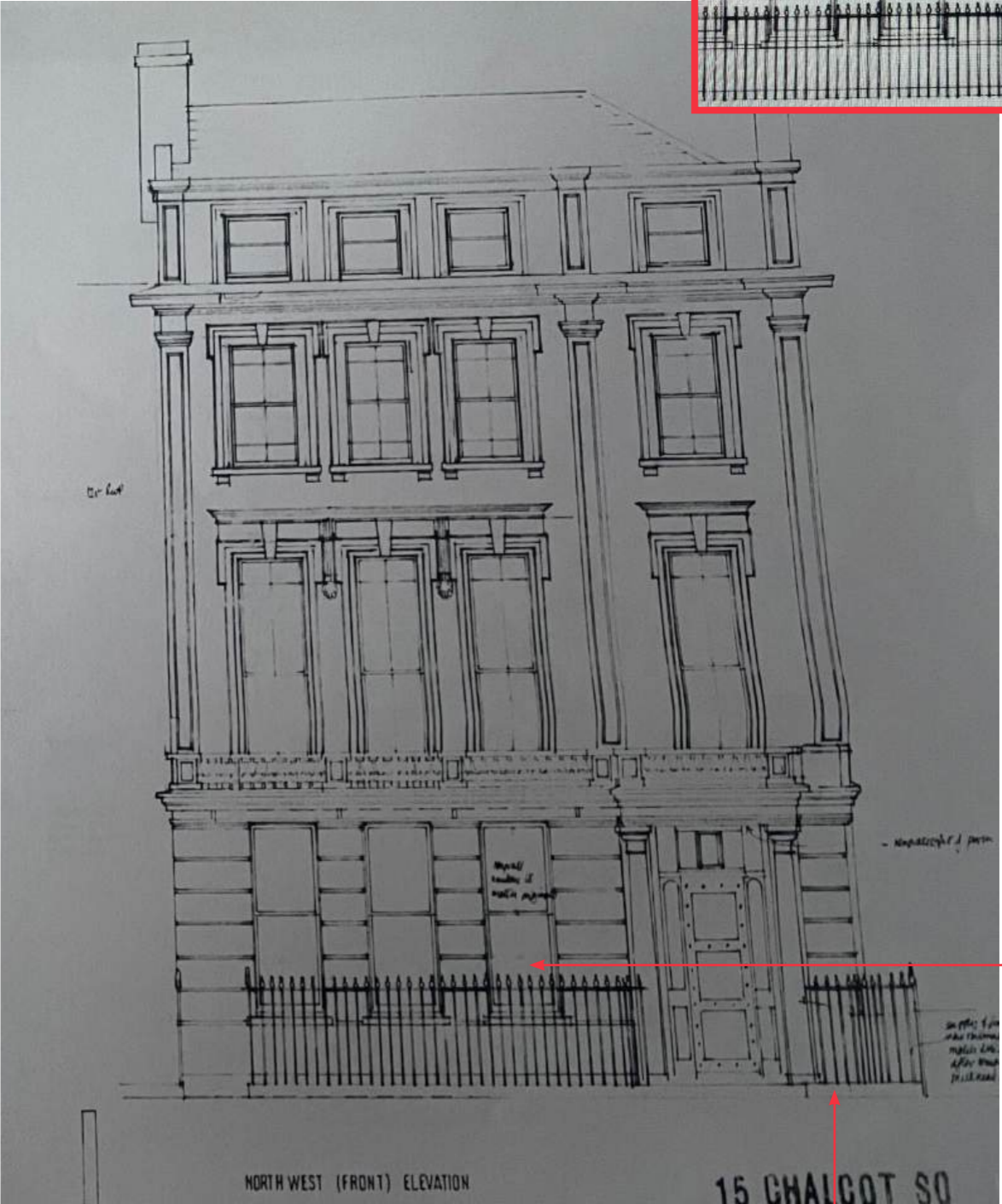
Appendix A
Front Elevation



Existing window showing no glazing bars. Current windows have vertical glazing bars. These windows have been replaced since this application was made.

Existing window showing vertical and horizontal glazing bars

Existing Front elevation from 1986 planning application.

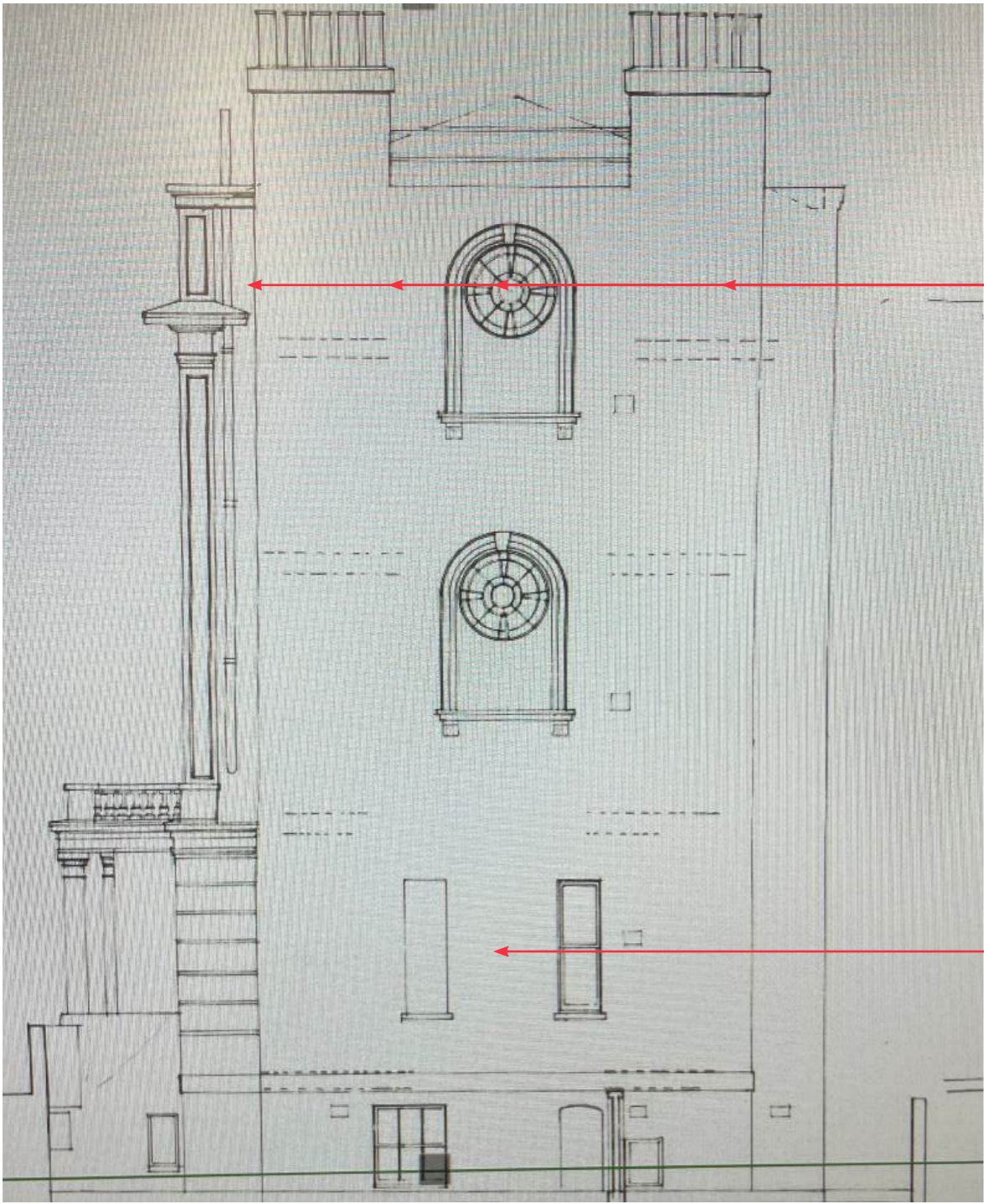


Existing window replaced. Note reads “renovate window to match original”

Railings added

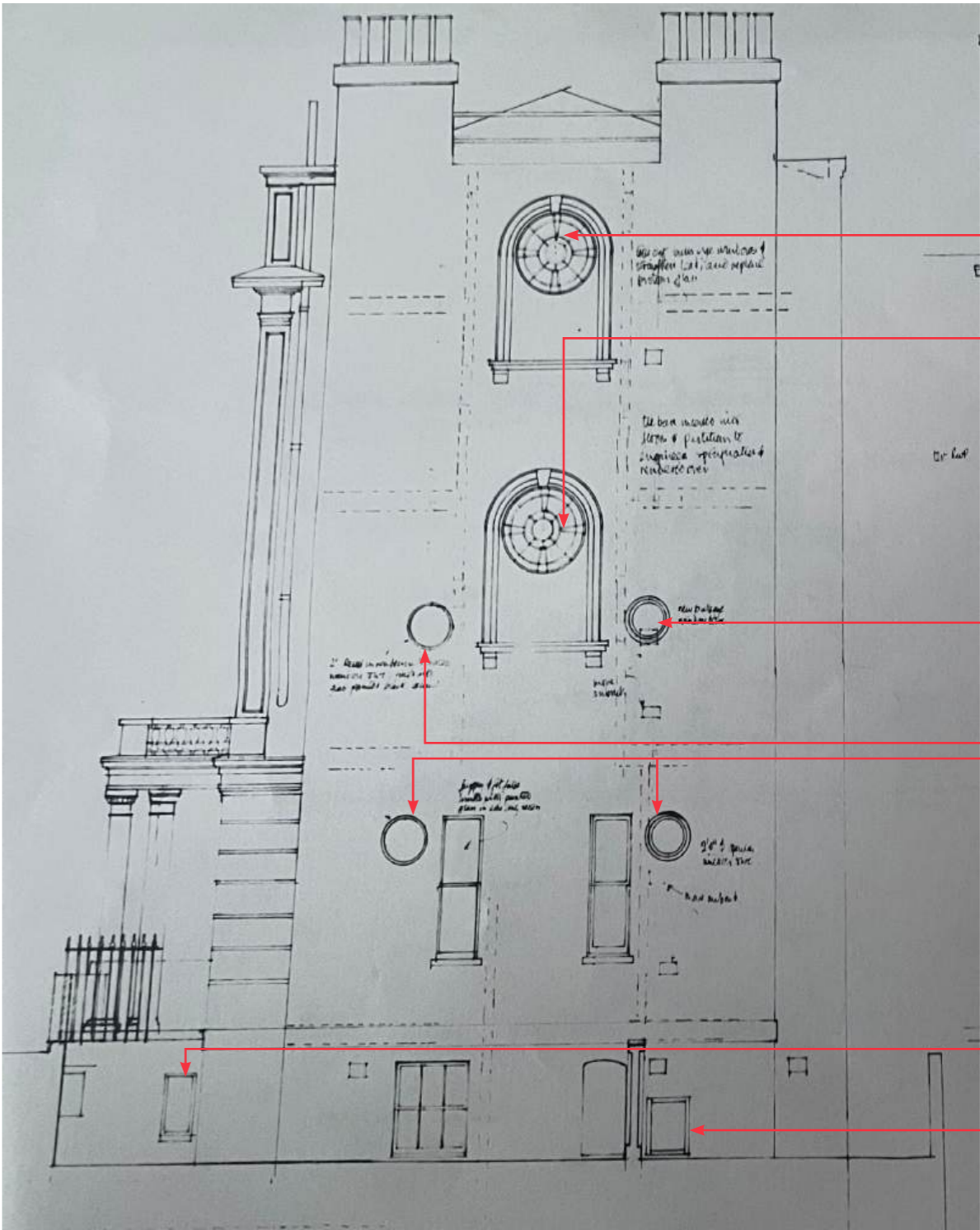
Proposed Front elevation from 1986 planning application.

Appendix A
Side Elevation



Existing window showing no glazing bars. Current windows have vertical glazing bars. These windows have been replaced since this application was made.

Existing window showing vertical and horizontal glazing bars



These windows have since been changed to clear glazing with no glazing bars.

Circular window added.

Circular indent added.

This window no longer exists

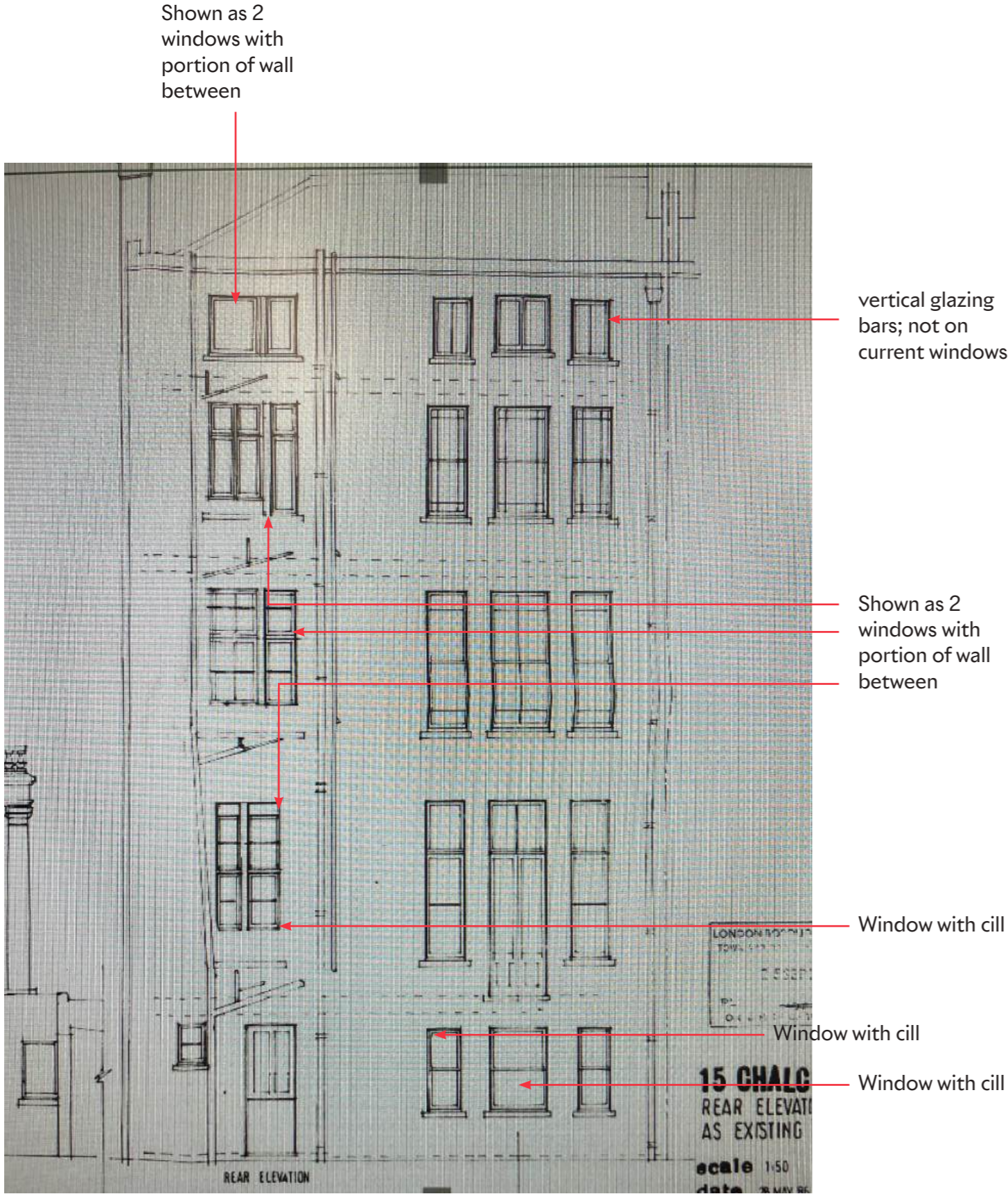
This window no longer exists

Existing Side elevation from 1986 planning application.

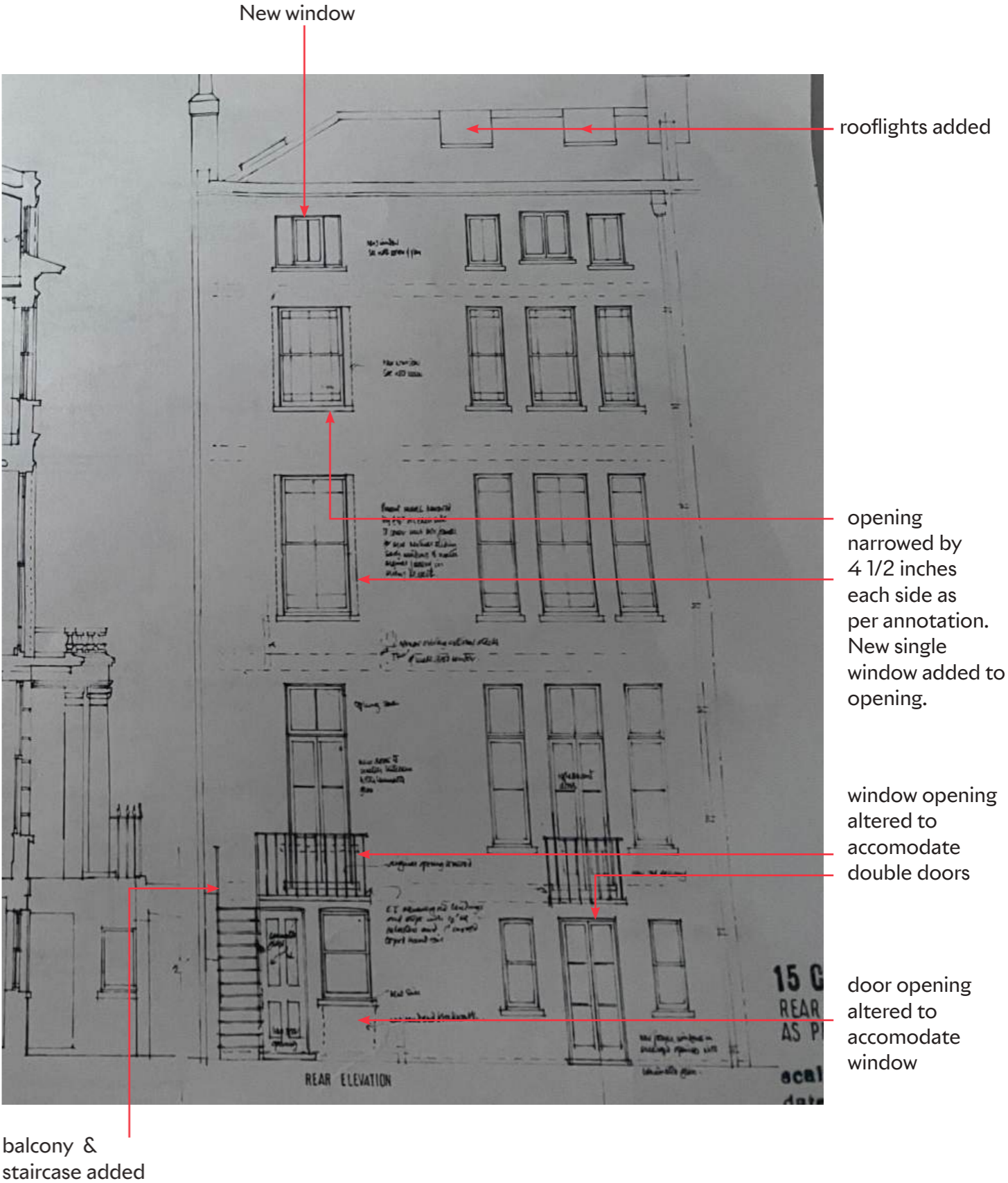
Proposed Side elevation from 1986 planning application.

Appendix A

Rear Elevation



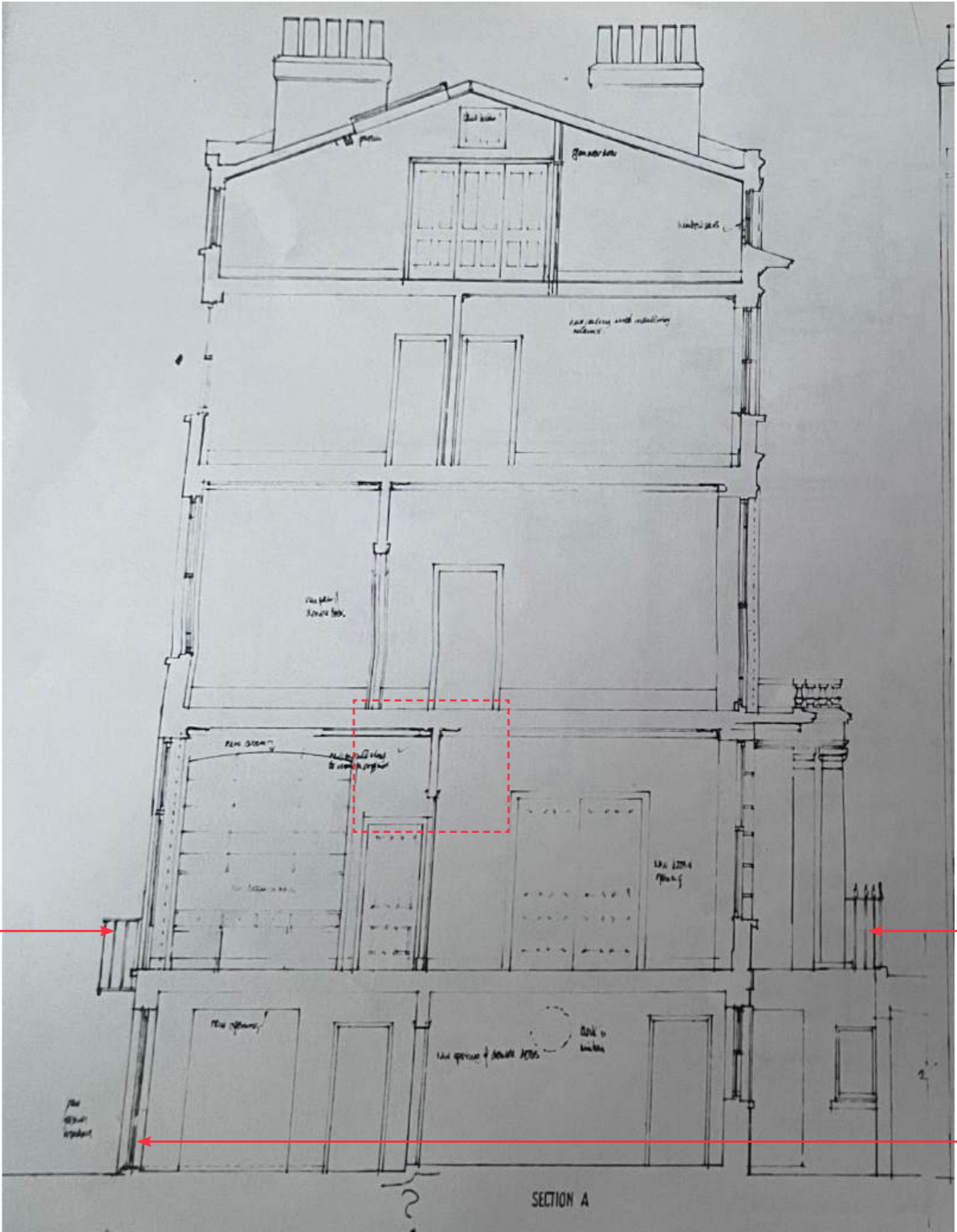
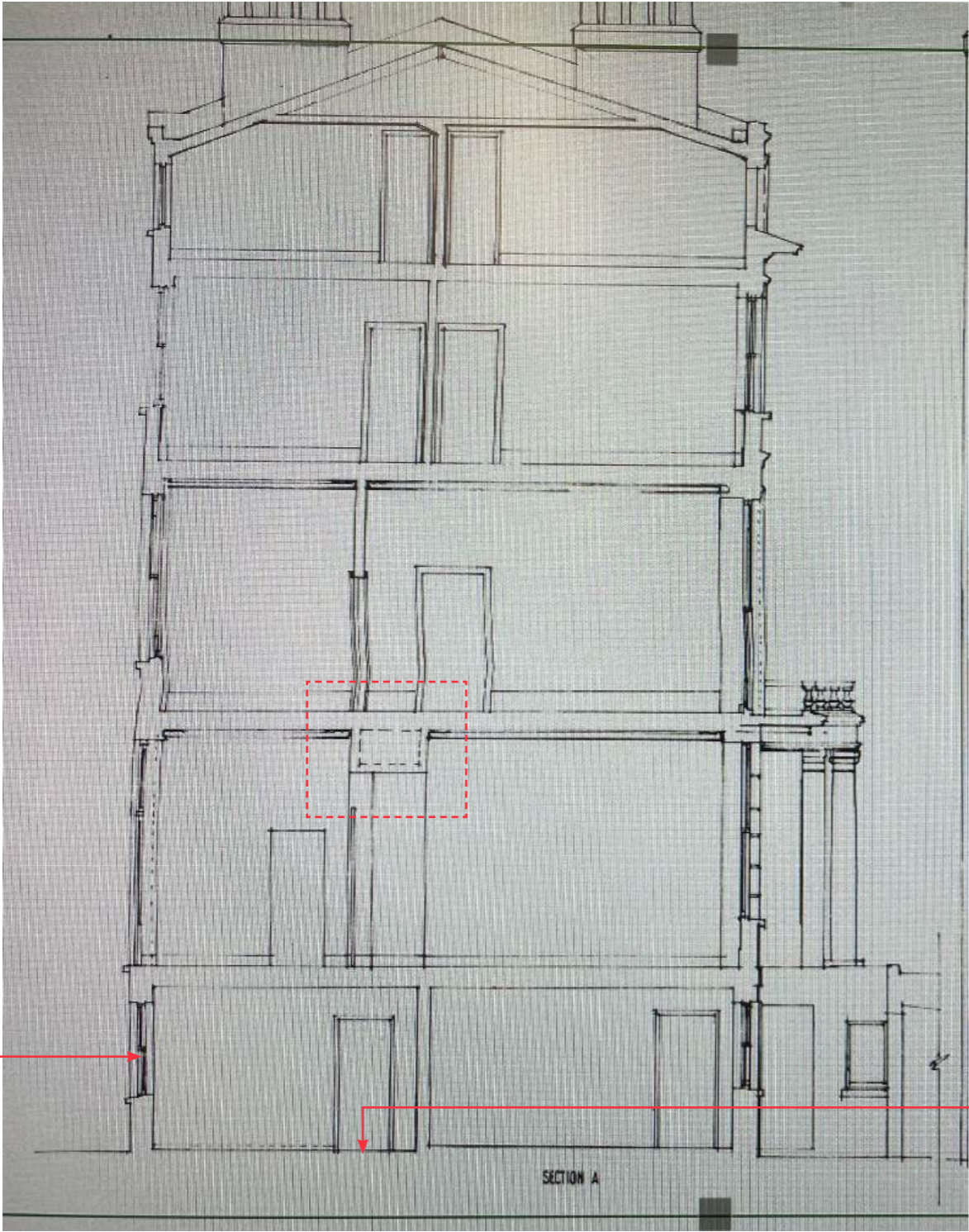
Existing rear elevation from 1986 planning application.



Proposed rear elevation from 1986 planning application.

Appendix A

Section

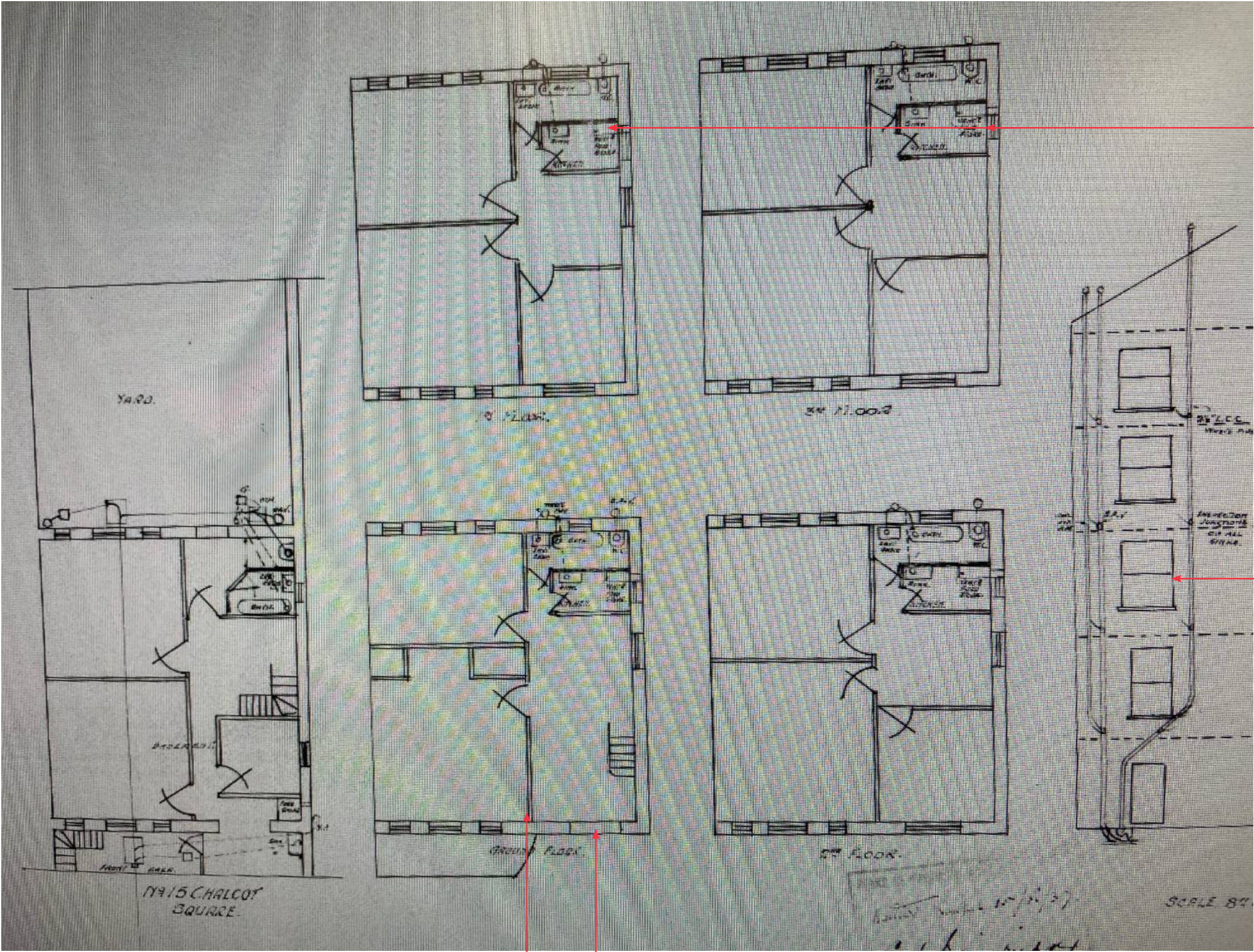


Existing section from 1986 planning application.

Proposed section from 1986 planning application.

Appendix A

Plan



Bathroom configuration

Single windows

1937 Floor Plans

Non curved wall on GF

Entry door flush with front facade; not within Portico